

UNIVERSITY OF SOUTH CAROLINA

CONTROLLERS SUITE RENOVATIONS

1600 HAMPTON STREET-SIXTH FLOOR, COLUMBIA, SC 29201



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DRAWING LIST	
SHEET NO.	Sheet Name
CVR	COVER
AD101	DEMOLITION FLOOR PLAN
AD102	DEMOLITION REFLECTED CEILING PLAN
A101	RENOVATION FLOOR PLAN
A201	RENOVATION REFLECTED CEILING PLAN
A801	DOOR AND ROOM FINISH SCHEDULES
A901	MILLWORK DETAILS
M1	6TH FLOOR HVAC DEMOLITION PLAN
M2	6TH FLOOR HVAC RENOVATIONS PLAN
P1	PLUMBING FLOOR PLANS-6TH FLOOR
FP1	WET PIPE SPRK-6TH FLOOR EXIST CONDITIONS
FP2	WET PIPE SPRK SYSTEM-6TH FLOOR
E101	PARTIAL SIXTH FLOOR POWER DEMOLITION PLAN
E102	PARTIAL SIXTH FLOOR POWER RENOVATION PLAN
E103	PARTIAL SIXTH FLOOR LIGHTING RENOVATION PLAN

BUILDING CODE SUMMARY

PROJECT DESCRIPTION
 THIS PROJECT INCLUDES A TWO-PHASE INTERIOR RENOVATION ON THE SIXTH FLOOR OF THE 1600 HAMPTON STREET BUILDING. THE BUILDING IS OWNED BY THE UNIVERSITY OF SOUTH CAROLINA, THE END-USER BEING THE CONTROLLER'S OFFICE. HAZARDOUS MATERIALS ARE PRESENT, BUT WILL BE REMEDIATED PRIOR TO THE START OF CONSTRUCTION. DEMOLITION IS LIMITED IN NATURE, WITH NEW CONSTRUCTION BEING LARGELY NEW PARTITION WALLS AND NEW FINISHES IN AREAS. NO FURNITURE PROCUREMENT OR INSTALLATION IS INCLUDED IN THE SCOPE OF THE PROJECT. MECHANICAL, PLUMBING, FIRE PROTECTION, AND ELECTRICAL ARE ALL COMPONENTS OF THE PROJECT, BUT LIMITED IN NATURE.

PROJECT INFORMATION
 NAME OF PROJECT: CONTROLLERS SUITE RENOVATION
 ADDRESS: 1600 HAMPTON STREET, 6TH FLOOR, COLUMBIA, SOUTH CAROLINA 29201
 EXISTING OR PREVIOUS USE: BUSINESS (B)
 PROPOSED USE: BUSINESS (B)
 OWNER OR AUTH. AGENT: UNIVERSITY OF SOUTH CAROLINA
 CONTACT INFO: PROJECT MANAGER: LINDA CIACCIA, RA NCARB (803)777-0707 (P)
 OWNED BY: STATE
 CODE ENFORCEMENT JURISDICTION: UNIVERSITY OF SOUTH CAROLINA

PROJECT DESIGN TEAM INFORMATION

LEAD DESIGN PROFESSIONAL:	FIRM	CONTACT	LICENSE #	PHONE #
ARCHITECTURAL:	1X1 DESIGN, INC.	ASHELEY SCOTT	7937	(803) 834-4048
MECHANICAL:	MECHANICAL DESIGN INC	DANNY WILDS	27803	(803) 731-9834
PLUMBING:	MECHANICAL DESIGN INC	DANNY WILDS	27803	(803) 731-9834
FIRE-PROTECTION/STANDPIPE:	MECHANICAL DESIGN INC	DANNY WILDS	27803	(803) 731-9834
ELECTRICAL:	BELKA ENGINEERING ASSOC, INC.	KEVIN BELKA	12465	(803) 731-0650
FIRE ALARM:	BELKA ENGINEERING ASSOC, INC.	KEVIN BELKA	12465	(803) 731-0650
PROJECT MANAGER:	UNIVERSITY OF SOUTH CAROLINA	LINDA CIACCIA	--	(803) 777-0707

CODE COMPLIANCE
 INTERNATIONAL BUILDING CODE: 2012 EDITION
 INTERNATIONAL MECHANICAL CODE: 2012 EDITION
 INTERNATIONAL PLUMBING CODE: 2012 EDITION
 NATIONAL ELECTRICAL CODE: 2011 EDITION
 IECC: 2009 EDITION
 ICC/ANSI - 117.1: 2009 EDITION
 AMERICAN WITH DISABILITIES ACT (ADA)

BASIC BUILDING DATA

CONSTRUCTION TYPE:	EXISTING		
SPRINKLERS:	YES		
STANDPIPES:	YES, WET PIPE (EXISTING)		
FIRE DISTRICT:	NA		
FLOOD HAZARD AREA:	NO		
BUILDING HEIGHT:	EXISTING		
GROSS BUILDING AREA:			
FLOOR	EXISTING (SQ FT)	NEW (SQ FT)	SUB-TOTAL (SQ FT)
6TH FLOOR	28,600 SF	0	28,600 SF
TOTAL	--	--	28,600 SF

ALLOWABLE AREA

PRIMARY OCCUPANCY:	BUSINESS (B)
SECONDARY OCCUPANCY:	NONE
INCIDENTAL USE (TABLE 508.2.5):	NONE
SPECIAL USE (CHAPTER 4):	NONE
SPECIAL PROVISIONS:	NONE
MIXED OCCUPANCY:	NO
INCIDENTAL USE SEPARATION (508.2.5):	NA

ALLOWABLE HEIGHT

TYPE OF CONSTRUCTION	ALLOWABLE (TABLE 503)	INCREASE FOR SPRINKLERS	SHOWN ON PLANS	CODE REFERENCE
BUILDING HEIGHT (FT)	EXISTING	TYPE: II-B, EXISTING ASSUMED	EXISTING	
BUILDING HEIGHT (STORIES)	EXISTING	FEET=H + 20' = --	8	

DESIGN OCCUPANT LOAD (TABLE 1004.1)

FUNCTION OF SPACE	FLOOR AREA IN SQ FT PER OCCUPANT	AREA PER PLANS	TOTAL OCCUPANTS PER FUNCTION
6TH FLOOR (AFFECTED)	100 SF/OCCUPANT	13,930 SF	139.3 OCC
TOTAL			139.3 OCC=140 OCC

LIFE SAFETY PLAN REQUIREMENTS

LIFE SAFETY PLAN SHEET #: CVR

EXIT REQUIREMENTS

NUMBER AND ARRANGEMENT OF EXITS

FLOOR, ROOM OR SPACE	MINIMUM NUMBER OF EXITS ¹		TRAVEL DISTANCE		ARRANGEMENTS MEANS OF EGRESS (SECTION 1015.2) ^{1,3}	
	REQ'D	SHOWN ON PLANS	ALLOWABLE TRAVEL DISTANCE (TABLE 1016.2)	ACTUAL TRAVEL DISTANCE SHOWN ON PLANS	REQUIRED DISTANCE BETWEEN EXIT DOORS	ACTUAL DISTANCE SHOWN ON PLANS
6TH FLOOR (AFFECTED)	2	2	300'	<300'	81'-4"	56'-7" EXISTING

¹ Corridor dead ends (section 1016.3)
² Single exits (table 1018.2)
³ Common path of travel (section 1013.3)

EXIT WIDTH

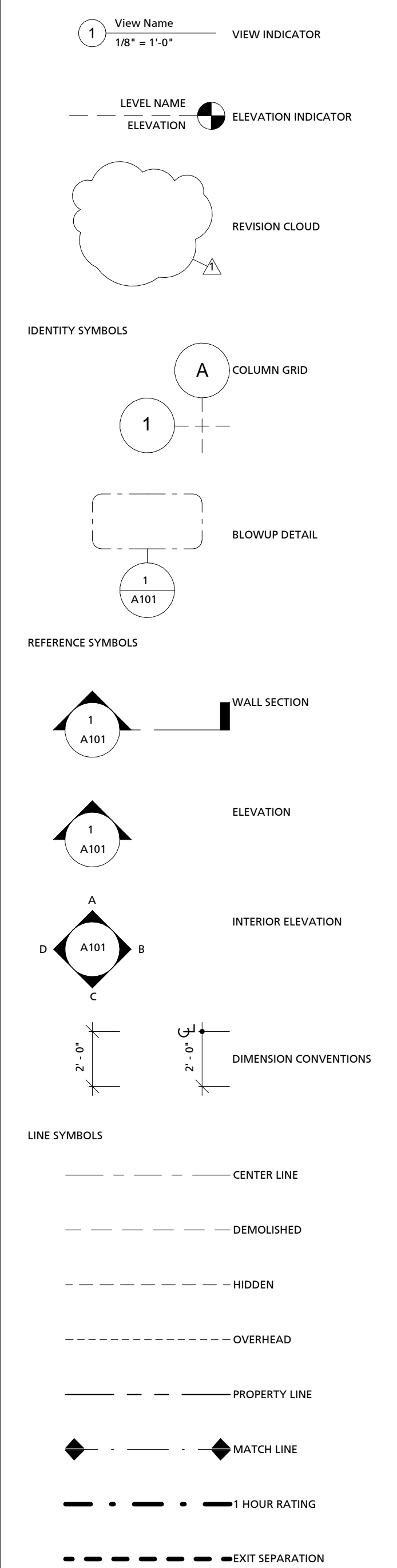
USE GROUP OR SPACE DESIGNATION	OCCUPANT LOAD BASED ON 1004.1	EGRESS WIDTH PER OCCUPANT (SEC 1005.3)	REQUIRED WIDTH		ACTUAL EXIT WIDTH SHOWN ON PLANS	
			STAIRS	OTHER ELEMENTS	STAIRS	OTHER ELEMENTS
6TH FLOOR AFFECTED	140	2'-7.15"	28"	21"	126"	64"

PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1)

NOTE: FIXTURE COUNTS BASED UPON DESIGN OCCUPANT LOAD

	WATER CLOSETS		URINALS	LAVATORIES		SHOWERS/TUBS	DRINKING FOUNTAINS	
	MALE:	FEMALE:		MALE:	FEMALE:		REGULAR:	ANSI/ADA:
REQUIRED:								
6TH FLOOR GROSS (143 M, 143 F)	4	4	--	3	3	--	1	1
6TH FLOOR AFFECTED (70 M, 70 F)	3	3	--	2	2	--	1	1
PROVIDED:								
6TH FLOOR GROSS (143 M, 143 F)	3	6	3	4	5	--	1	--
	--	--	--	--	--	--	--	--

DRAWING CONVENTIONS



ABBREVIATIONS

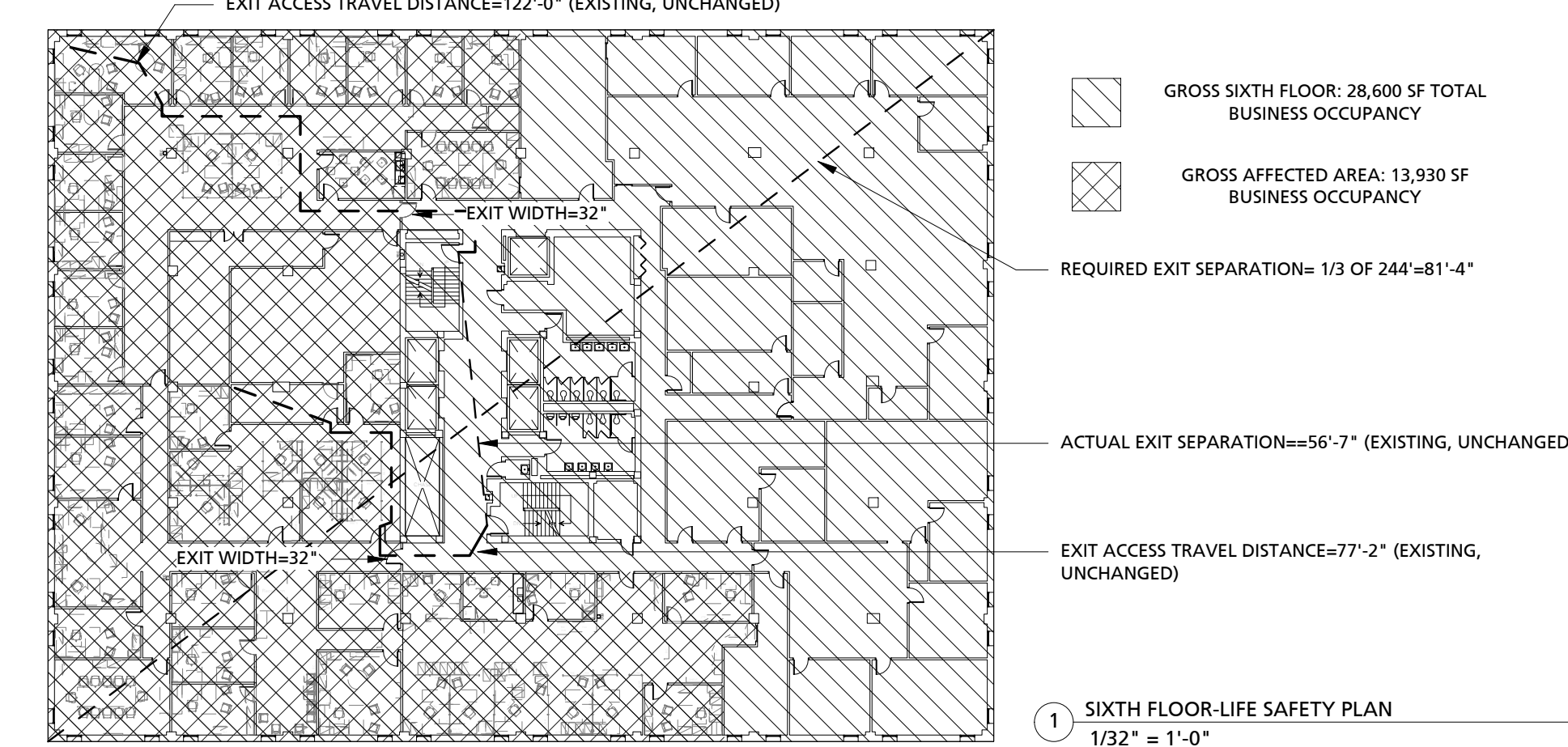
@	AT	HVAC	HEATING, VENTILATION, AIR-CONDITIONING
AFF	ABOVE FINISH FLOOR	INSUL	INSULATION
ARCH	ARCHITECTURAL	MAX	MAXIMUM
CL	CENTERLINE	MECH	MECHANICAL
CI	CONTROL JOINT	MFR	MANUFACTURER
CTR	CENTER	MIN	MINIMUM
CONC	CONCRETE	NIC	NOT IN CONTRACT
CMU	CONCRETE MASONRY UNIT	NOM	NOMINAL
DS	DOWNSPOUT	NTS	NOT TO SCALE
DWG	DRAWING	OC	ON CENTER
EXT	EXTERIOR	OPP	OPPOSITE
EXIST	EXISTING	PT	PRESSURE TREATED
EJ	EXPANSION JOINT	REQD	REQUIRED
ELEC	ELECTRICAL	RD	ROOF DRAIN
EL	ELEVATION	SF	SQUARE FEET
ELEV	ELEVATOR	SIM	SIMILAR
EQUIP	EQUIPMENT	SPEC	SPECIFICATIONS
EWIC	ELECTRIC WATER COOLER	STD	STANDARD
FD	FLOOR DRAIN	STR	STRUCTURAL
FEC	FIRE EXTINGUISHER CABINET	TOS	TOP OF STEEL
GYP BD	GYP/SUR BOARD	TYP	TYPICAL
HM	HOLLOW METAL	UNO	UNLESS NOTED OTHERWISE
		VIF	VERIFY IN FIELD



LOCATION MAP-CITY



LOCATION MAP-LOCAL



UNIVERSITY OF SOUTH CAROLINA
 CONTROLLERS SUITE RENOVATION
 PROJECT NUMBER: C900377004
 PROJECT ADDRESS: 1600 HAMPTON STREET-SIXTH FLOOR, COLUMBIA, SC 29201

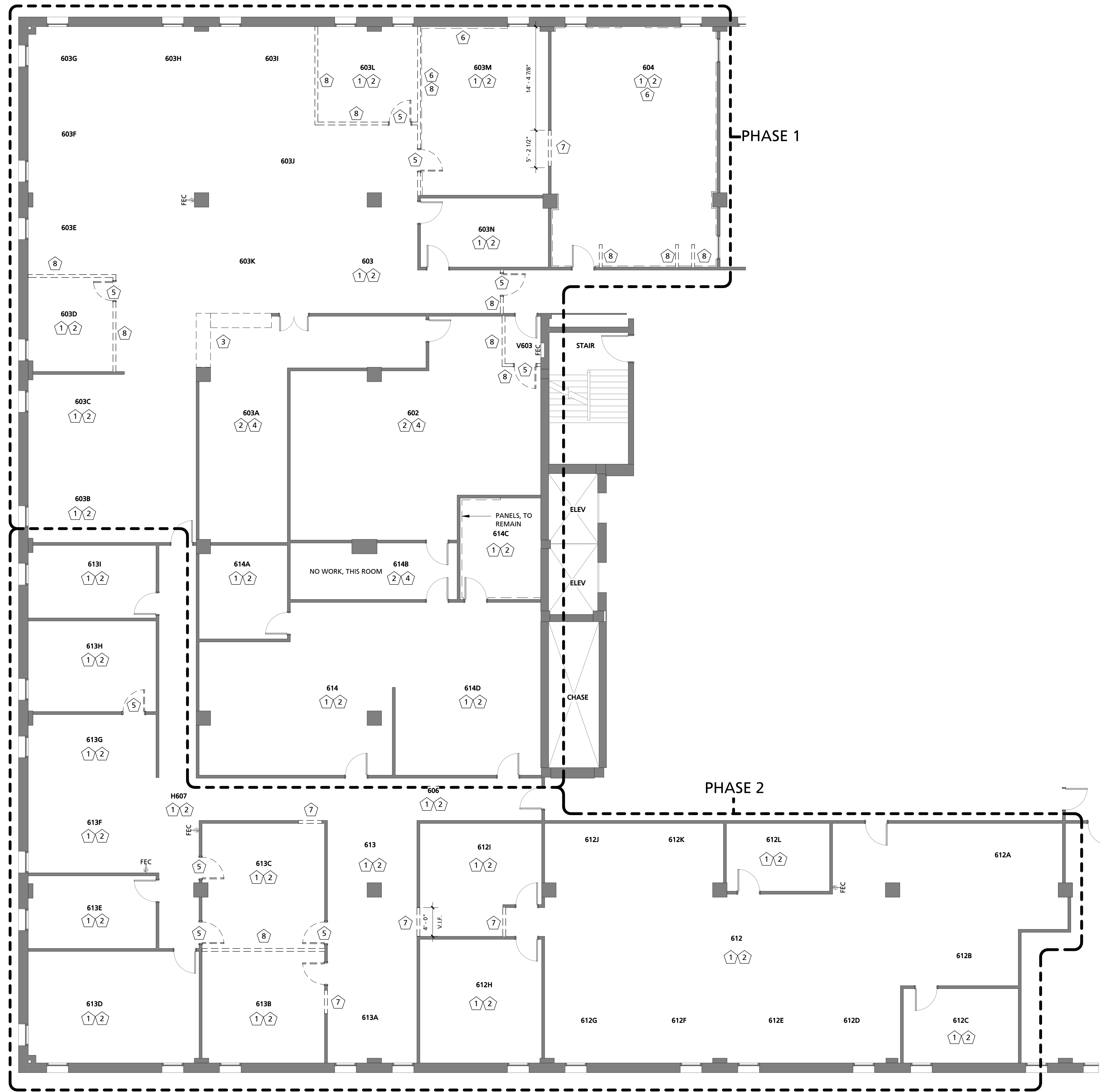
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CLIENT NAME	PROJECT NAME	PROJECT NUMBER	PROJECT ADDRESS
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REVISIONS		
No.	Description	Date

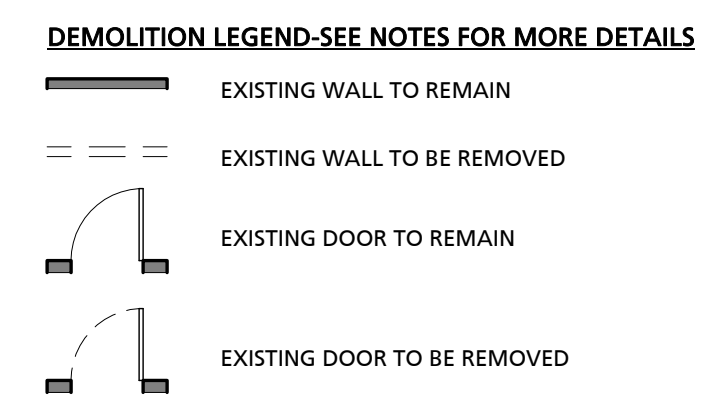
PROJECT NUMBER:	U-13-111-3
SHEET NUMBER:	CVR
SHEET NAME:	COVER
DATE:	02.24.14

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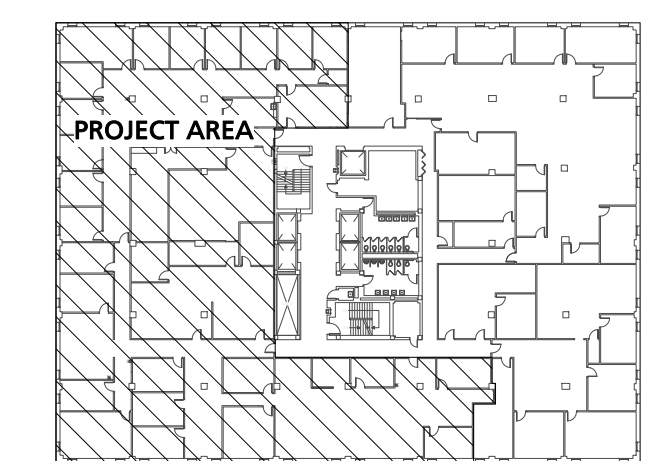


1 SIXTH FLOOR-DEMOLITION PLAN
1/8" = 1'-0"

- DEMOLITION TAGS AND NOTES-MAIN ENTRY**
- 1 REMOVE EXISTING FLOORING, BASE, MASTIC, ADHESIVE, ETC. IN ITS ENTIRETY. DISPOSE MATERIALS AS REQUIRED. PATCH ALL FLOOR AREAS AS REQUIRED TO PROVIDE LEVEL SURFACE APPROPRIATE FOR NEW FINISHES, AS SPECIFIED.
 - 2 EXISTING CEILING GRID AND TILES TO REMAIN
 - 3 EXISTING CABINET TO BE REMOVED AND MODIFIED FOR REUSE WITHIN EXISTING SPACE.
 - 4 EXISTING FLOOR TILE TO REMAIN.
 - 5 REMOVE EXISTING DOOR AND FRAME; RETAIN FOR REUSE. REMOVE EXISTING FOREIGN DEBRIS, PATCH DOORS TO APPEAR "LIKE NEW". PREP TO RECEIVE NEW FINISH, AS INDICATED.
 - 6 REMOVE EXISTING CHAIR RAIL. PREPARE WALL TO RECEIVE NEW FINISH, AS SPECIFIED.
 - 7 REMOVE EXISTING WALL TO EXTENT SHOWN. COORDINATE WITH RENOVATION PLANS.
 - 8 REMOVE EXISTING WALL IN ITS ENTIRETY. REMOVE ALL POWER, DATA, FIRE, ALARM, SECURITY, TELEPHONE, ETC. LOCATED IN WALL.



- GENERAL DEMOLITION NOTES**
- A. ROOM NUMBERS SHOWN ON DEMOLITION PLANS REFER TO EXISTING ROOMS NUMBERS.
 - B. CLEANING OF THE SUBSTRATES, SUBSTRATE SURFACE PREPARATION, AND INSTALLATION FOR ALL NEW FINISH MATERIALS TO BE IN ACCORDANCE WITH MANUFACTURER'S PRINTED RECOMMENDATIONS.
 - C. EXISTING FURNITURE REMOVAL TO BE COORDINATED BY END-USER. EXISTING DESKS TO BE COVERED TO PROTECT FROM DUST DURING CONSTRUCTION PHASES.
 - E. ROOM SIGN INSTALLATION AND/OR MODIFICATIONS TO BE COORDINATED BY PROJECT MANAGER.
 - F. EXISTING CONDITIONS AND DEMOLITION NOTES BASED ON INFORMATION PROVIDED BY OWNER AND/OR INFORMATION GATHERED DURING GENERAL FIELD OBSERVATION. IF GC DISCOVERS EXISTING CONDITIONS DIFFER FROM THOSE SHOWN, CONTACT PROJECT MANAGER IMMEDIATELY.
 - G. GENERAL CONTRACTOR TO FIELD VERIFY CONDITIONS PRIOR TO START OF CONSTRUCTION.
 - H. SECURE ALL INTERIOR BLINDS DURING CONSTRUCTION FOR REUSE. INVENTORY ANY DAMAGED BLINDS, AND REPORT TO PROJECT MANAGER.



1600 HAMPTON STREET-SIXTH FLOOR KEY PLAN
1/64" = 1'-0"



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PROJECT NUMBER	C900377004
PROJECT ADDRESS	1600 HAMPTON STREET-SIXTH FLOOR, COLUMBIA, SC 29201

REVISIONS	No.	Description	Date

PROJECT NUMBER	U-13-111-3
SHEET NUMBER	AD101
SHEET NAME	DEMOLITION FLOOR PLAN
DATE	02.24.14

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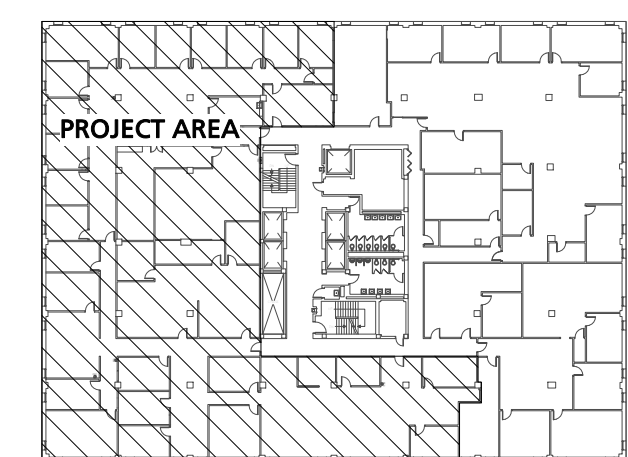
GENERAL REFLECTED CEILING PLAN NOTES

- A. SEE ELECTRICAL DRAWINGS FOR ALL LIGHT FIXTURES AND ELECTRICAL REQUIREMENTS.
- B. SEE MECHANICAL DRAWINGS FOR ALL MECHANICAL ELEMENTS.
- C. CEILING HEIGHT IS EXISTING, 8'-10" AFF UNLESS NOTED OTHERWISE.
- D. EXISTING CONDITIONS AND DEMOLITION NOTES BASED ON INFORMATION PROVIDED BY OWNER AND/OR INFORMATION GATHERED DURING GENERAL FIELD OBSERVATION. IF GC DISCOVERS EXISTING CONDITIONS DIFFER FROM THOSE SHOWN, CONTACT PROJECT MANAGER IMMEDIATELY.
- E. REFER TO ELECTRICAL DRAWINGS TO FIXTURES TO BE RELOCATED. ALL FIXTURES TO BE RELOCATED OR SALVAGED AND RETURNED TO OWNER. COORDINATE WITH PROJECT MANAGER FOR STORAGE LOCATION.

REFLECTED CEILING PLAN LEGEND-SEE NOTES FOR MORE DETAILS

- — — — — EXISTING WALL TO REMAIN
- - - - - EXISTING WALL TO BE REMOVED, SEE RENOVATION AND DEMOLITION PLAN
- — — — — NEW PARTITION, SEE RENOVATION FLOOR PLAN
- 2' X 2' ELECTRICAL FIXTURE TO REMAIN
- 2' X 2' ELECTRICAL FIXTURE TO BE REMOVED AND SALVAGED OR RELOCATED
- 2' X 2' ELECTRICAL FIXTURE, RELOCATED
- 2' X 4' ELECTRICAL FIXTURE TO REMAIN
- 2' X 4' ELECTRICAL FIXTURE TO BE REMOVED AND SALVAGED OR RELOCATED
- 2' X 4' ELECTRICAL FIXTURE, RELOCATED
- 2' X 4' CEILING SYSTEM TO REMAIN

NOTE: SOME ELECTRICAL FIXTURES ARE MECHANICAL TROFFERS. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR MORE DETAILS



1600 HAMPTON STREET-SIXTH FLOOR KEY PLAN
1/64" = 1'-0"



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CONTROLLERS SUITE RENOVATION

C90077004

1600 HAMPTON STREET-SIXTH FLOOR, COLUMBIA, SC 29201

CLIENT NAME	PROJECT NAME	PROJECT NUMBER	PROJECT ADDRESS

REVISIONS		
No.	Description	Date

PROJECT NUMBER: U-13-111-3
SHEET NUMBER

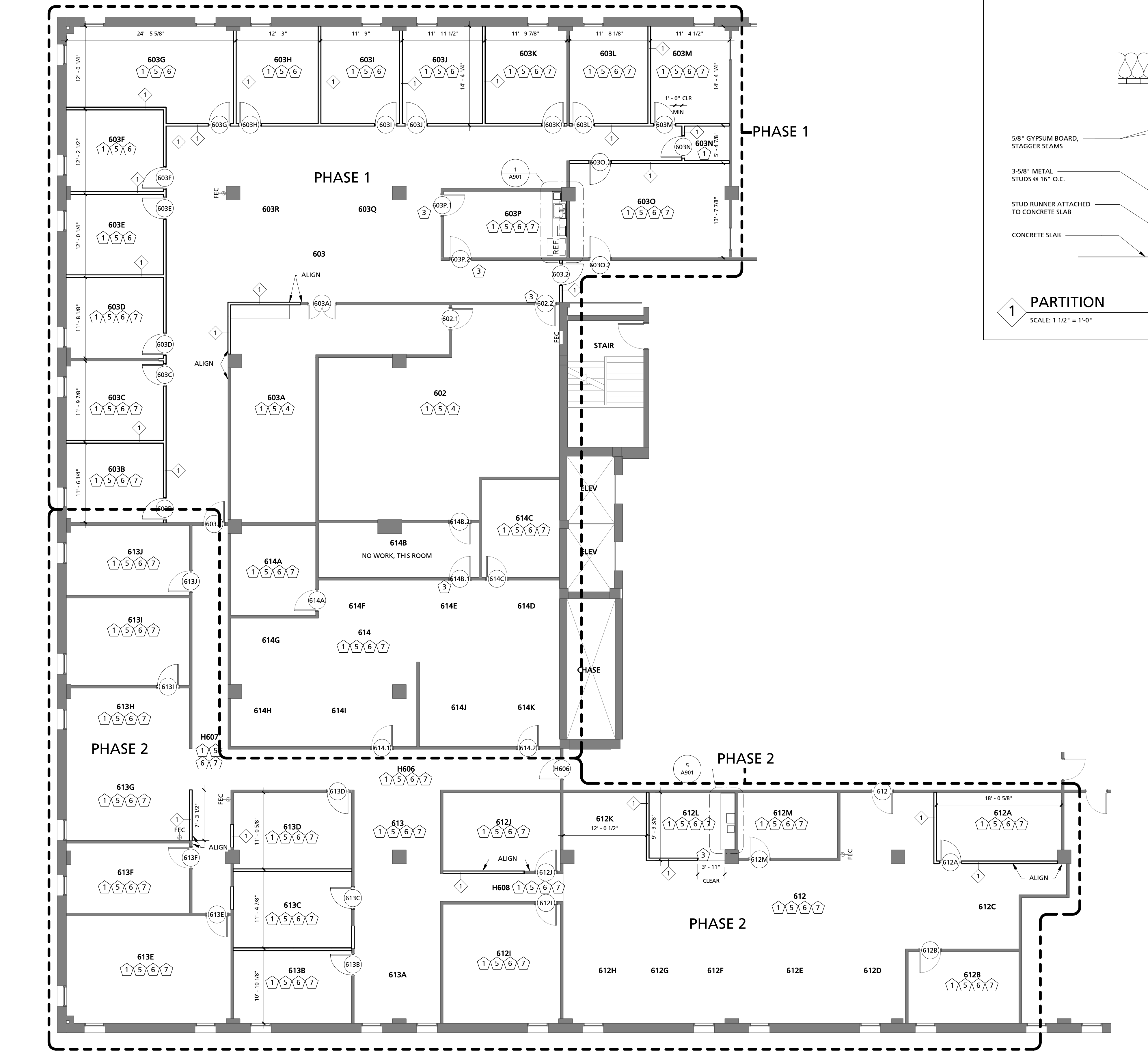
AD102

SHEET NAME: DEMOLITION REFLECTED CEILING PLAN
DATE: 02.24.14

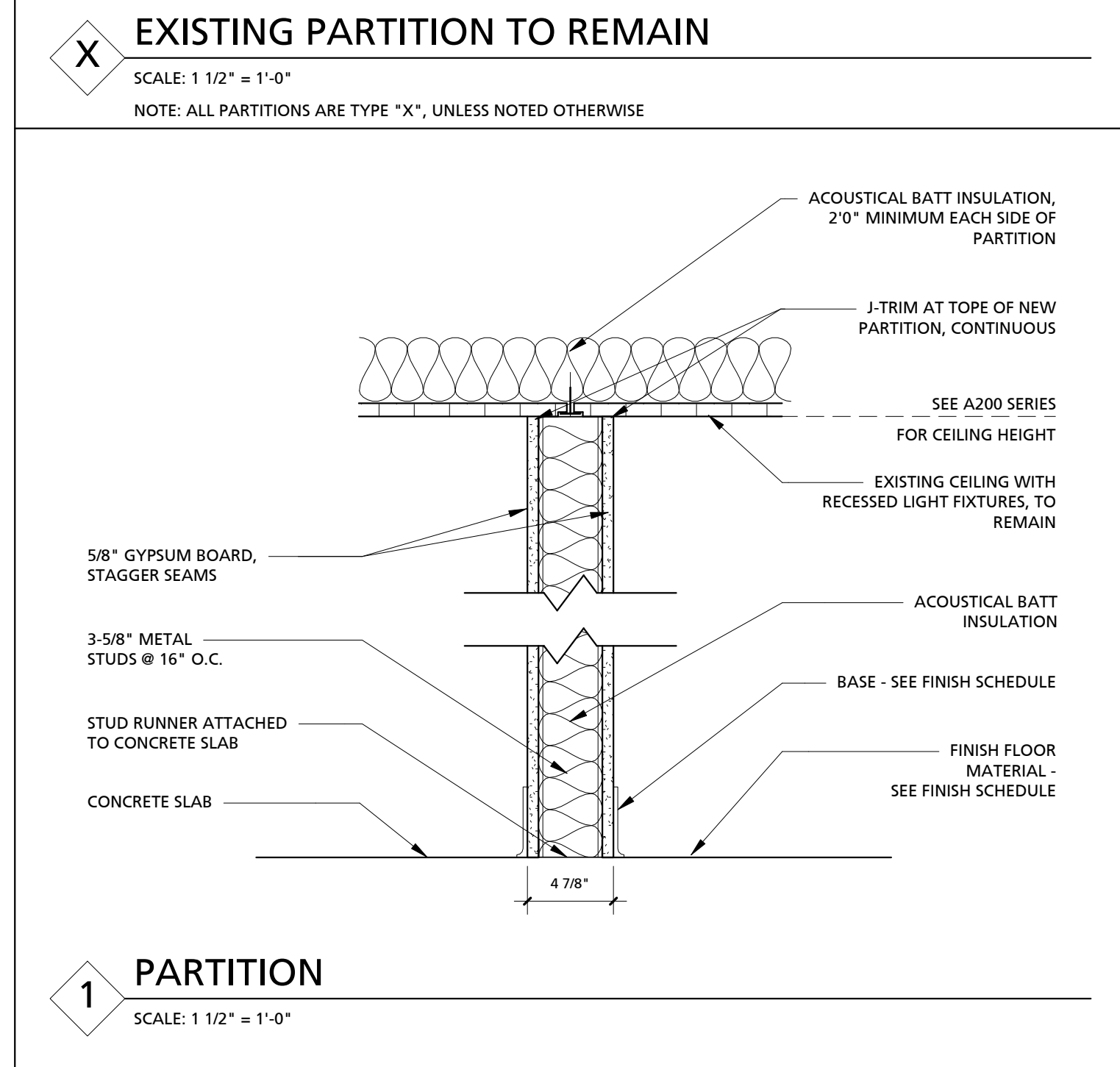
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1 SIXTH FLOOR-RENOVATION PLAN
1/8" = 1'-0"

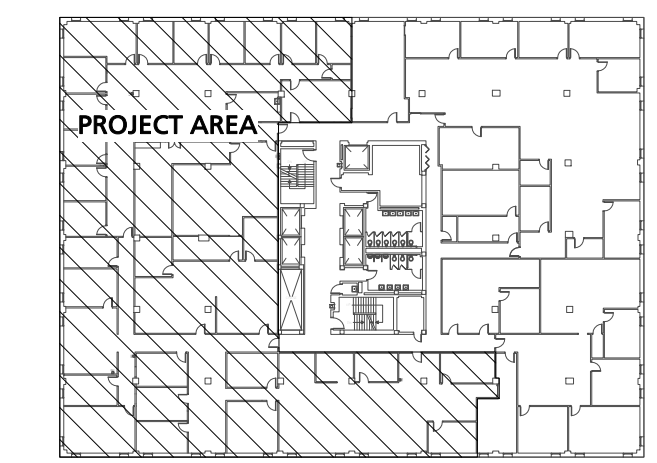


1 PARTITION
SCALE: 1 1/2" = 1'-0"

- GENERAL FLOOR PLAN NOTES**
- A. ALL DIMENSIONS ARE TO FACE OF EXISTING ELEMENT OR FACE OF NEW STUD UNLESS NOTED OTHERWISE. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY. SEE A901 FOR FINISH SELECTION AND DETAILS.
 - B. FIRE MARSHALL TO CONFIRM FIRE EXTINGUISHER LOCATIONS ON SITE, EXISTING LOCATIONS TO REMAIN.
 - C. EXISTING CONDITIONS AND DEMOLITION NOTES BASED ON INFORMATION PROVIDED BY OWNER AND/OR INFORMATION GATHERED DURING GENERAL FIELD OBSERVATION. IF GC DISCOVERS EXISTING CONDITIONS DIFFER FROM THOSE SHOWN, CONTACT PROJECT MANAGER IMMEDIATELY.
 - D. SEE A101 FOR PARTITION TYPES AND NOTES.

- RENOVATION TAGS AND NOTES**
- 1 PATCH WALLS AND PAINT AS REQUIRED, SEE FINISH SCHEDULE
 - 2 INSTALL MODIFIED EXISTING CABINET IN NEW LOCATION
 - 3 INSTALL TRANSITION STRIP
 - 4 PATCH/REPLACE EXISTING VCT AS NEEDED, MATCH EXISTING
 - 5 REPLACE DAMAGED CEILING TILES AS NEEDED, MATCH EXISTING
 - 6 REPAIR PAINTED WALL COVERING SEAMS, AS NEEDED
 - 7 INSTALL AND PAINT TRIM MOLD AT TOP OF SHEET ROCK, AS NEEDED
 - 8 INFILL PARTITION, AS INDICATED

- FLOOR PLAN LEGEND**
- EXISTING WALL TO REMAIN
 - EXISTING DOOR TO REMAIN
 - NEW WALL, SEE PARTITION TYPES
 - NEW DOOR, SEE DOOR SCHEDULE
- Room name**
- 101 ROOM TAG, SEE PLAN AND FINISH SCHEDULE
 - 101 DOOR TAG, SEE PLAN AND DOOR SCHEDULE
 - INTERIOR WALL TAG, SEE PARTITION TYPES



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1/64" = 1'-0"



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REVISIONS		
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PROJECT NUMBER: U-13-111-3
SHEET NUMBER: A101
SHEET NAME: RENOVATION FLOOR PLAN
DATE: 02.24.14

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1 SIXTH FLOOR-RENOVATION PLAN
1/8" = 1'-0"

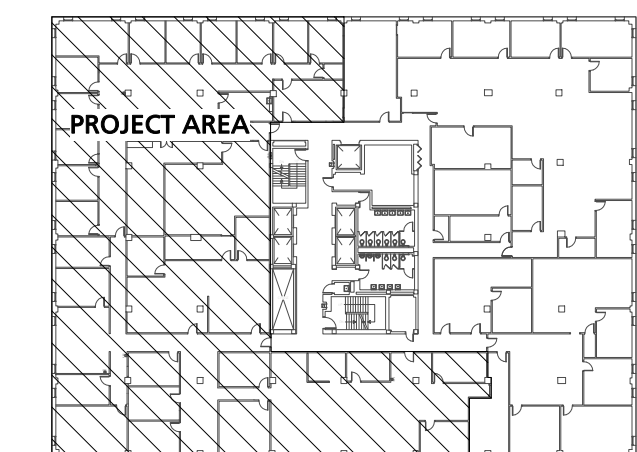
GENERAL REFLECTED CEILING PLAN NOTES

- A. SEE ELECTRICAL DRAWINGS FOR ALL LIGHT FIXTURES AND ELECTRICAL REQUIREMENTS.
- B. SEE MECHANICAL DRAWINGS FOR ALL MECHANICAL ELEMENTS.
- C. CEILING HEIGHT IS EXISTING, 8'-10" AFF UNLESS NOTED OTHERWISE.
- D. EXISTING CONDITIONS AND DEMOLITION NOTES BASED ON INFORMATION PROVIDED BY OWNER AND/OR INFORMATION GATHERED DURING GENERAL FIELD OBSERVATION. IF GC DISCOVERS EXISTING CONDITIONS DIFFER FROM THOSE SHOWN, CONTACT PROJECT MANAGER IMMEDIATELY.
- E. REFER TO ELECTRICAL DRAWINGS TO FIXTURES TO BE RELOCATED. ALL FIXTURES TO BE RELOCATED OR SALVAGED AND RETURNED TO OWNER. COORDINATE WITH PROJECT MANAGER FOR STORAGE LOCATION.

REFLECTED CEILING PLAN LEGEND-SEE NOTES FOR MORE DETAILS

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED, SEE RENOVATION AND DEMOLITION PLAN
- NEW PARTITION, SEE RENOVATION FLOOR PLAN
- 2' X 2' ELECTRICAL FIXTURE TO REMAIN
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- 2' X 2' ELECTRICAL FIXTURE, RELOCATED
- 2' X 4' ELECTRICAL FIXTURE TO REMAIN
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- 2' X 4' ELECTRICAL FIXTURE, RELOCATED
- 2' X 4' CEILING SYSTEM TO REMAIN

NOTE: SOME ELECTRICAL FIXTURES ARE MECHANICAL TROFFERS. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR MORE DETAILS



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REVISIONS		
No.	Description	Date

PROJECT NUMBER: U-13-111-3

SHEET NUMBER: A201

SHEET NAME: RENOVATION REFLECTED CEILING PLAN

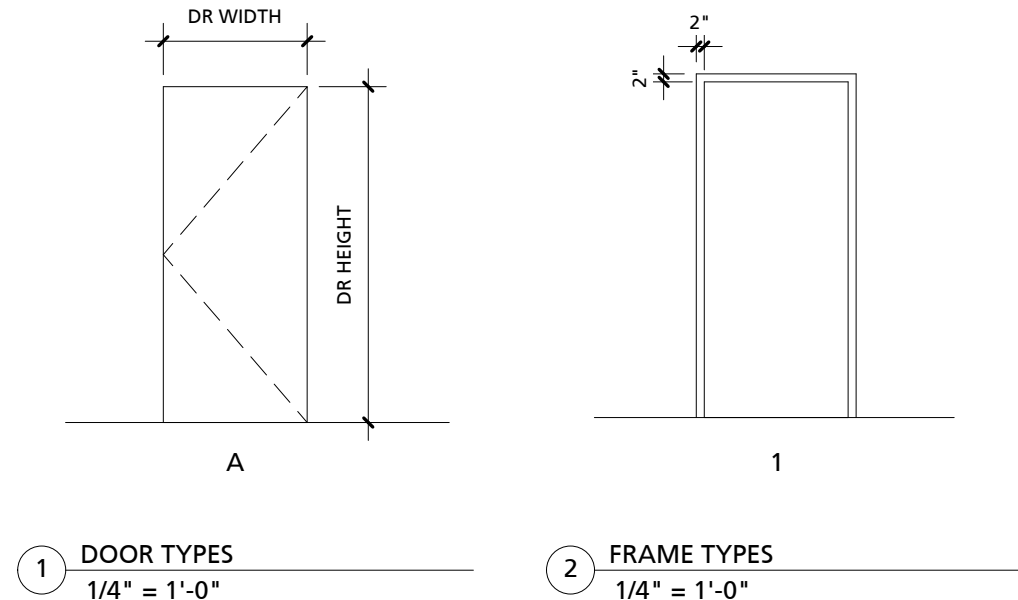
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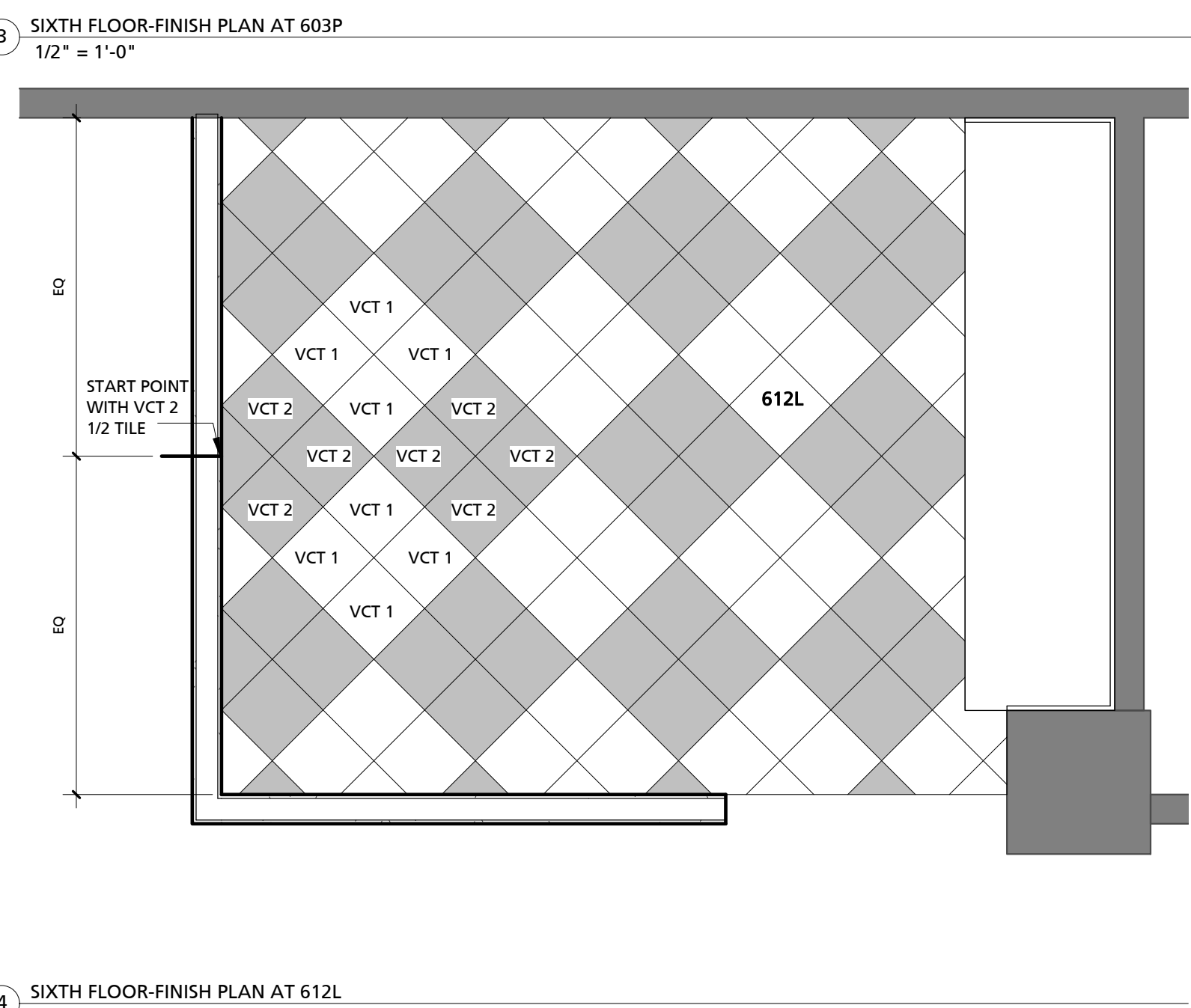
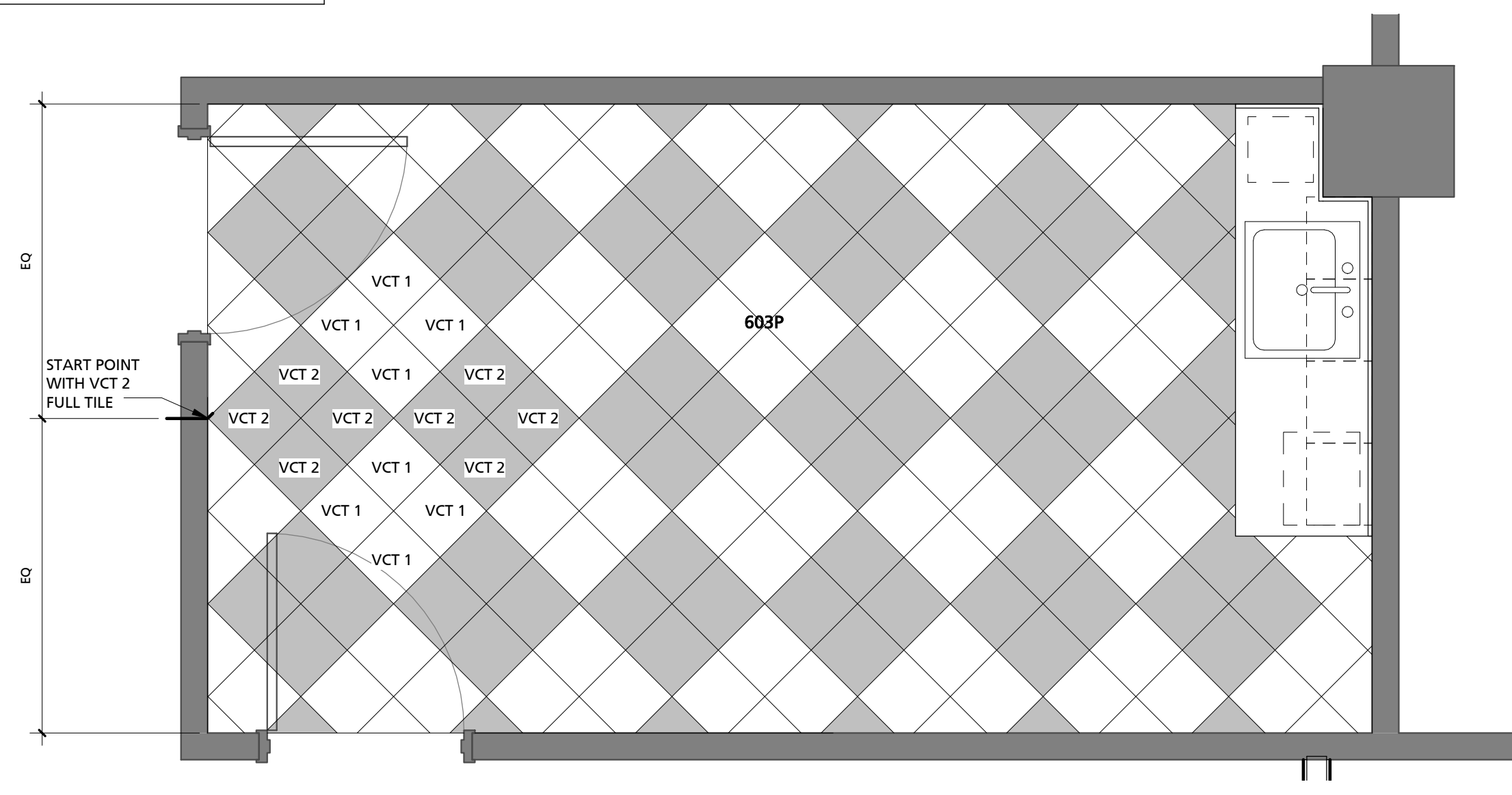
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DOOR SCHEDULE											
NUMBER	SIZE		DOOR TYPE	DOOR MATERIAL	DOOR FINISH	FRAME			Hardware	COMMENTS	
	WIDTH	HEIGHT				TYPE	MATERIAL	FINISH			
602.1	3'-0"	6'-8"	XTR (S)	XTR	STAIN	XTR	XTR	PT 2	XTR	1	
602.2	3'-0"	6'-8"	XTR (P)	XTR	PT 2	XTR	XTR	PT 2	XTR	1	
603.1	3'-0"	6'-8"	XTR (S)	XTR	STAIN	XTR	XTR	PT 2	XTR	1	
603.2	3'-0"	6'-8"	A.36.80.00	WOOD	STAIN	1	HM	PT 2	LOCKSET-OFFICE		
603A	4'-0"	6'-8"	XTR (S)	XTR	STAIN	XTR	XTR	PT 2	XTR	1	
603B	3'-0"	6'-8"	A.36.80.00	WOOD	STAIN	1	HM	PT 2	LOCKSET-OFFICE	1, 2, 4	
603C	3'-0"	6'-8"	A.36.80.00	WOOD	STAIN	1	HM	PT 2	LOCKSET-OFFICE	1, 2, 3	
603D	3'-0"	6'-8"	A.36.80.00	WOOD	STAIN	1	HM	PT 2	LOCKSET-OFFICE	2	
603E	3'-0"	6'-8"	A.36.80.00	WOOD	STAIN	1	HM	PT 2	LOCKSET-OFFICE	2	
603F	3'-0"	6'-8"	A.36.80.00	WOOD	STAIN	1	HM	PT 2	LOCKSET-OFFICE	2	
603G	3'-0"	6'-8"	A.36.80.00	WOOD	STAIN	1	HM	PT 2	LOCKSET-OFFICE	2	
603H	3'-0"	6'-8"	A.36.80.00	WOOD	STAIN	1	HM	PT 2	LOCKSET-OFFICE	2	
603I	3'-0"	6'-8"	A.36.80.00	WOOD	STAIN	1	HM	PT 2	LOCKSET-OFFICE	1, 2, 3	
603J	3'-0"	6'-8"	A.36.80.00	WOOD	STAIN	1	HM	PT 2	LOCKSET-OFFICE	2	
603K	3'-0"	6'-8"	A.36.80.00	WOOD	STAIN	1	HM	PT 2	LOCKSET-OFFICE	1, 2, 3	
603L	3'-0"	6'-8"	A.36.80.00	WOOD	STAIN	1	HM	PT 2	LOCKSET-OFFICE	2	
603M	3'-0"	6'-8"	A.36.80.00	WOOD	STAIN	1	XTR	PT 2	LOCKSET-OFFICE	2	
603N	3'-0"	6'-8"	A.36.80.00	WOOD	STAIN	1	HM	PT 2	LOCKSET-OFFICE	2	
603O.1	3'-0"	6'-8"	A.36.80.00	WOOD	STAIN	1	HM	PT 2	LOCKSET-OFFICE	2	
603O.2	3'-0"	6'-8"	XTR (P)	XTR	PT 2	XTR	XTR	PT 2	XTR	1	
603P.1	3'-0"	6'-8"	XTR (P)	XTR	PT 2	XTR	XTR	PT 2	XTR	1	
603P.2	3'-0"	6'-8"	XTR (S)	XTR	PT 2	XTR	XTR	PT 2	XTR	1	
612	3'-0"	6'-8"	XTR (P)	XTR	PT 2	XTR	XTR	PT 2	XTR	1	
612A	3'-0"	6'-8"	A.36.80.00	WOOD	STAIN	1	HM	PT 2	LOCKSET-OFFICE	2	
612B	3'-0"	6'-8"	XTR (P)	XTR	PT 2	XTR	XTR	PT 2	XTR	1	
612I	3'-0"	6'-8"	XTR (S)	XTR	STAIN	XTR	XTR	PT 2	XTR	1	
612J	3'-0"	6'-8"	XTR (S)	XTR	STAIN	XTR	XTR	PT 2	XTR	1	
612M	3'-0"	6'-8"	XTR (P)	XTR	PT 2	XTR	XTR	PT 2	XTR	1	
613B	3'-0"	6'-8"	A.36.80.00	WOOD	STAIN	1	HM	PT 2	LOCKSET-OFFICE	2	
613C	3'-0"	6'-8"	A.36.80.00	WOOD	STAIN	1	HM	PT 2	LOCKSET-OFFICE	2	
613D	3'-0"	6'-8"	A.36.80.00	WOOD	STAIN	1	HM	PT 2	LOCKSET-OFFICE	1, 2, 4	
613E	3'-0"	6'-8"	XTR (S)	XTR	STAIN	XTR	XTR	PT 2	XTR	1	
613F	3'-0"	6'-8"	XTR (S)	XTR	STAIN	XTR	XTR	PT 2	XTR	1	
613I	3'-0"	6'-8"	A.36.80.00	WOOD	STAIN	1	HM	PT 2	LOCKSET-OFFICE	2	
613J	3'-0"	6'-8"	XTR (S)	XTR	STAIN	XTR	XTR	PT 2	XTR	1	
614.1	3'-0"	6'-8"	XTR (P)	XTR	PT 2	XTR	XTR	PT 2	XTR	1	
614.2	3'-0"	6'-8"	XTR (P)	XTR	PT 2	XTR	XTR	PT 2	XTR	1	
614A	3'-0"	6'-8"	XTR (P)	XTR	PT 2	XTR	XTR	PT 2	XTR	1	
614B.1	3'-0"	6'-8"	XTR (P)	XTR	PT 2	XTR	XTR	PT 2	XTR	1	
614B.2	3'-0"	6'-8"	XTR (P)	XTR	PT 2	XTR	XTR	PT 2	XTR	1	
614C	3'-0"	6'-8"	XTR (P)	XTR	PT 2	XTR	XTR	PT 2	XTR	1	
H606	3'-0"	6'-8"	XTR (S)	XTR	STAIN	XTR	XTR	PT 2	XTR	1	



ROOM FINISH SCHEDULE									
NAME	FLOOR		BASE MATERIAL	CEILING MATERIAL	WALL FINISH			COMMENTS	
	MATERIAL	MATERIAL			NORTH	EAST	SOUTH		WEST
602	XTR	XTR	XTR	XTR	XTR	XTR	XTR	1	
603	CPT 1	RB 1	XTR	PT 1	PT 1	PT 1	PT 1		
603A	XTR	XTR	XTR	XTR	XTR	XTR	XTR	1	
603B	CPT 1	RB 1	XTR	PT 1	PT 1	PT 1	PT 1		
603C	CPT 1	RB 1	XTR	PT 1	PT 1	PT 1	PT 1		
603D	CPT 1	RB 1	XTR	PT 1	PT 1	PT 1	PT 1		
603E	CPT 1	RB 1	XTR	PT 1	PT 1	PT 1	PT 1		
603F	CPT 1	RB 1	XTR	PT 1	PT 1	PT 1	PT 1		
603G	CPT 1	RB 1	XTR	PT 1	PT 1	PT 1	PT 1		
603H	CPT 1	RB 1	XTR	PT 1	PT 1	PT 1	PT 1		
603I	CPT 1	RB 1	XTR	PT 1	PT 1	PT 1	PT 1		
603J	CPT 1	RB 1	XTR	PT 1	PT 1	PT 1	PT 1		
603K	CPT 1	RB 1	XTR	PT 1	PT 1	PT 1	PT 1		
603L	CPT 1	RB 1	XTR	PT 1	PT 1	PT 1	PT 1		
603M	CPT 1	RB 1	XTR	PT 1	PT 1	PT 1	PT 1		
603N	CPT 1	RB 1	XTR	PT 1	PT 1	PT 1	PT 1		
603O	CPT 1	RB 1	XTR	PT 1	PT 1	PT 1	PT 1		
603P	VCT 1/VCT 2	RB 1	XTR	PT 1	PT 1	PT 1	PT 1		
603Q	--	--	--	--	--	--	--		
603R	--	--	--	--	--	--	--		
612	CPT 1	RB 1	XTR	PT 1	PT 1	PT 1	PT 1		
612A	CPT 1	RB 1	XTR	PT 1	PT 1	PT 1	PT 1		
612B	CPT 1	RB 1	XTR	PT 1	PT 1	PT 1	PT 1		
612C	--	--	--	--	--	--	--		
612D	--	--	--	--	--	--	--		
612E	--	--	--	--	--	--	--		
612F	--	--	--	--	--	--	--		
612G	--	--	--	--	--	--	--		
612H	--	--	--	--	--	--	--		
612I	CPT 1	RB 1	XTR	PT 1	PT 1	PT 1	PT 1		
612J	CPT 1	RB 1	XTR	PT 1	PT 1	PT 1	PT 1		
612K	--	--	--	--	--	--	--		
612L	VCT 1/VCT 2	RB 1	XTR	PT 1	PT 1	PT 1	PT 1		
612M	CPT 1	RB 1	XTR	PT 1	PT 1	PT 1	PT 1		
613	CPT 1	RB 1	XTR	PT 1	PT 3	PT 1	PT 1		
613A	CPT 1	RB 1	XTR	PT 1	PT 1	PT 1	PT 1		
613B	CPT 1	RB 1	XTR	PT 1	PT 1	PT 1	PT 1		
613C	CPT 1	RB 1	XTR	PT 1	PT 1	PT 1	PT 1		
613D	CPT 1	RB 1	XTR	PT 1	PT 1	PT 1	PT 1		
613E	CPT 1	RB 1	XTR	PT 1	PT 3	PT 1	PT 1		
613F	CPT 1	RB 1	XTR	PT 1	PT 1	PT 1	PT 1		
613G	CPT 1	RB 1	XTR	PT 1	PT 1	PT 1	PT 1		
613H	CPT 1	RB 1	XTR	PT 1	PT 1	PT 1	PT 1		
613I	CPT 1	RB 1	XTR	PT 1	PT 1	PT 1	PT 1		
613J	CPT 1	RB 1	XTR	PT 1	PT 1	PT 1	PT 1		
614	CPT 1	RB 1	XTR	PT 1	PT 1	PT 1	PT 1		
614A	CPT 1	RB 1	XTR	PT 1	PT 1	PT 1	PT 1		
614B	XTR	XTR	XTR	XTR	XTR	XTR	XTR	1	
614C	CPT 1	RB 1	XTR	PT 1	PT 1	PT 1	PT 1		
614D	--	--	--	--	--	--	--		
614E	--	--	--	--	--	--	--		
614F	--	--	--	--	--	--	--		
614G	--	--	--	--	--	--	--		
614H	--	--	--	--	--	--	--		
614I	--	--	--	--	--	--	--		
614J	--	--	--	--	--	--	--		
614K	--	--	--	--	--	--	--		
H606	CPT 1	RB 1	XTR	PT 1	PT 1	PT 1	PT 1		
H607	CPT 1	RB 1	XTR	PT 1	PT 1	PT 1	PT 1		
H608	CPT 1	RB 1	XTR	PT 1	PT 1	PT 1	PT 1		



GENERAL DOOR NOTES

- DOOR TYPE INDICATES DOOR TYPE, DOOR WIDTH (IN INCHES), DOOR HEIGHT (IN INCHES) AND RATING (IN MINUTES). FOR EXAMPLE, DOOR TYPE A.36.84 IS A DOOR TYPE "A", 36" IN WIDTH & 84" IN HEIGHT.
- ALL DOORS TO BE LOCATED 6" FROM ADJACENT PERPENDICULAR WALL TO INSIDE FACE OF FRAME, UNLESS NOTED OTHERWISE. THIS DOES NOT APPLY TO STOREFRONT ITEMS.
- REFER TO A901 FOR FINISH DESIGNATIONS.
- CONTRACTOR TO VERIFY BUILDING STANDARD DOORS (TYPE AND SIZE). INTENT IS TO MATCH EXISTING ADJACENT DOORS AND FRAMES. MATCH HARDWARE WITHIN SUITE.
- NEW DOORS TO BE STAINED TO MATCH EXISTING DOORS IN SUITE.
- DOOR HARDWARE LOCKSET/LATCHSET: TYPE: LEVER STYLE FINISH: 626/626D PROVIDE LOCKSET WITH CORE TO MATCH BUILDING STANDARD OF CORBIN-RUSSWIN WITH A 6-PIN D KEYWAY.
- COORDINATE KEYING WITH UNIVERSITY OF SOUTH CAROLINA KEY SHOP.

DOOR SCHEDULE REMARKS

- REFURBISH DOOR AND FRAME-MATCH EXISTING STAIN OR PAINT AS INDICATED. PAINT FRAME AS INDICATED.
- STAIN NEW DOOR AND PAINT NEW FRAME
- REUSE SALVAGED RH STAINED DOOR, HARDWARE, LOCKSET, AND FRAME.
- REUSE SALVAGED LH STAINED DOOR, HARDWARE, LOCKSET, AND FRAME.

ROOM FINISH SCHEDULE REMARKS

- EXISTING PAINT TO REMAIN - TOUCH-UP TO MATCH EXISTING PAINT, AS NEEDED.

ROOM FINISH SPECIFICATIONS

FLOORING: (BASIS OF DESIGN)

VCT 1 - VINYL COMPOSITION TILE

MFR: MANNINGTON
 STYLE: SOLID POINT
 COLOR: 317 COOL BEIGE
 SIZE: 12" X 12" X 1/8"
 INSTALLATION: SEE PLANS

VCT 2 - VINYL COMPOSITION TILE

MFR: MANNINGTON
 STYLE: SOLID POINT
 COLOR: 322 IRON
 SIZE: 12" X 12" X 1/8"
 INSTALLATION: SEE PLANS

CPT 1 - CARPET TILE

MFR: MANNINGTON
 STYLE: TERES
 COLOR: 12220 CASHMERE
 SIZE: 24" X 24"
 INSTALLATION: VERTICAL ASHLAR

RB 1 - RUBBER COVE BASE

MFR: JOHNSONITE
 STYLE: VINYL COVE BASE
 COLOR: DC-178 IRON STONE CG
 SIZE: 4" HIGH

INTERIOR PAINT:

PT 1 - (FIELD COLOR)

MFR: SHERWIN WILLIAMS
 TYPE: HARMONY
 COLOR: 6147 PANDA WHITE
 FINISH: EG-SHELL

PT 2 - (HOLLOW METAL DOOR AND FRAME)

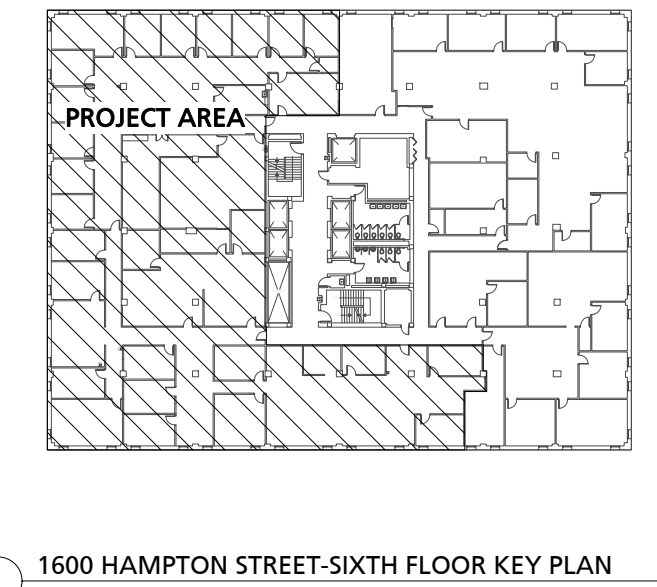
MFR: SHERWIN WILLIAMS
 TYPE: HARMONY
 COLOR: 7674 PEPPERCORN
 FINISH: SEMI-GLOSS

PT 3 - (ACCENT COLOR)

MFR: SHERWIN WILLIAMS
 TYPE: HARMONY
 COLOR: 6307 FINE WINE
 FINISH: EG-SHELL

GENERAL INTERIOR FINISH NOTES

- FOR FINISH LOCATIONS, REFER TO PLAN NORTH, SOUTH, EAST AND WEST FOR FINISH PLACEMENT.
- FIELD VERIFY ALL LOCATIONS FOR CASEWORK PLACEMENT, PRIOR TO FABRICATION. ENSURE ALL CLEARANCES ARE MET AND ACCOUNTED FOR. NOTIFY CONTRACTOR OF ANY DISCREPANCIES IMMEDIATELY.
- ALL FINISHES TO MEET FLAME SPREAD REQUIREMENTS.



UNIVERSITY OF SOUTH CAROLINA
 CONTROLLERS SUITE RENOVATION
 PROJECT NUMBER: C90077004
 PROJECT ADDRESS: 1600 HAMPTON STREET-SIXTH FLOOR, COLUMBIA, SC 29201

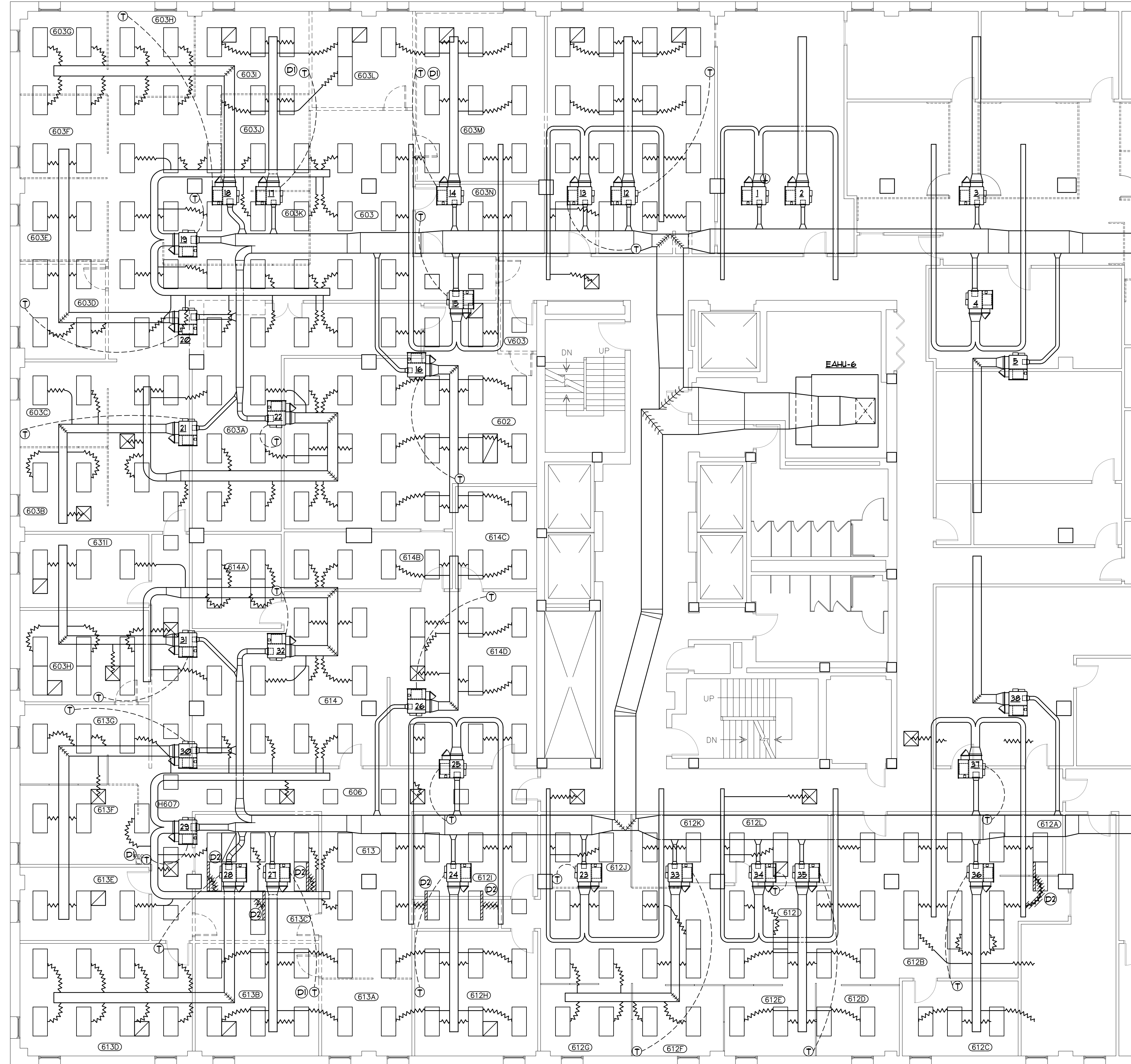
CLIENT NAME: PROJECT NAME: PROJECT NUMBER: PROJECT ADDRESS: U-13-111-3

SHEET NUMBER: **A801**

DATE: 02.24.14

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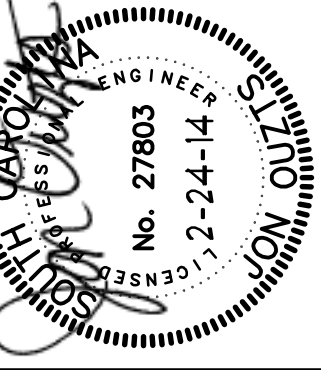
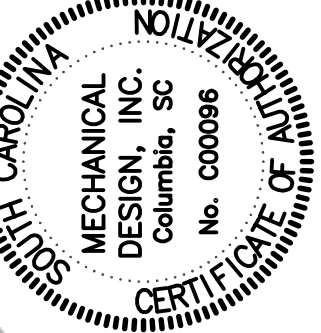
- ### DEMOLITION NOTES
- (D) RELOCATE EXISTING THERMOSTAT AS INDICATED ON HVAC RENOVATIONS SHEET M2.
 - (D2) REMOVE EXISTING RUNOUT AND LIGHT TROUFFER SHOWN AS HATCHED COMPLETE. SEAL TRUNK DUCT AIR TIGHT AND PATCH AND REPAIR INSULATION.

6TH FLOOR HVAC DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



DESIGN

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MECHANICAL DESIGN INC.

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CONTACT: D. WILDS
DATE: 02/24/14
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UNIVERSITY OF SOUTH CAROLINA
CONTROLLERS SUITE RENOVATION
PROJECT NUMBER: CP00077004
PROJECT ADDRESS: 1600 HAMPTON STREET-SIXTH FLOOR, COLUMBIA, SC 29201

CLIENT NAME	UNIVERSITY OF SOUTH CAROLINA
PROJECT NAME	CONTROLLERS SUITE RENOVATION
PROJECT NUMBER	CP00077004
PROJECT ADDRESS	1600 HAMPTON STREET-SIXTH FLOOR, COLUMBIA, SC 29201

REVISIONS		
No.	Description	Date

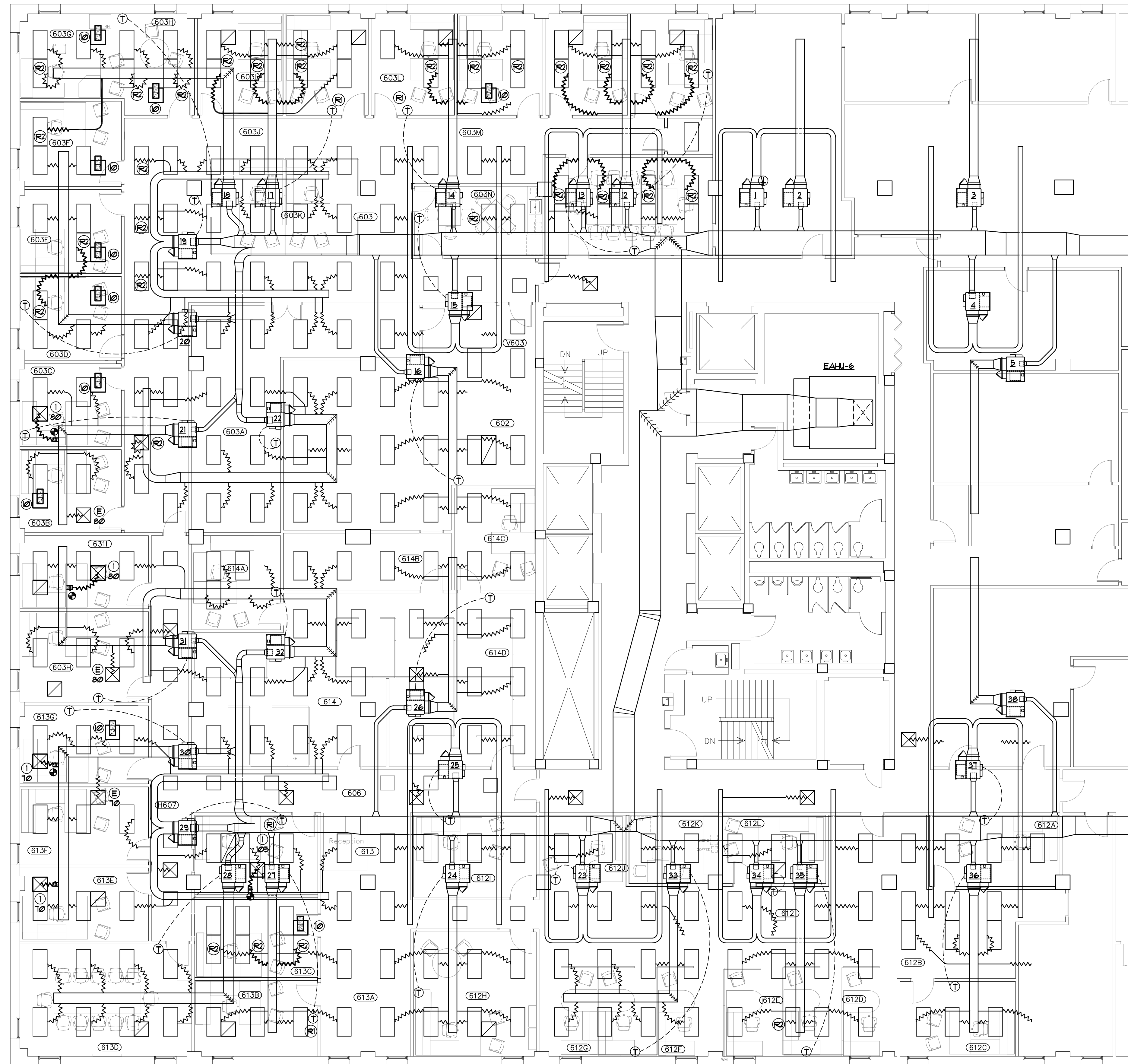
PROJECT NUMBER: U-13-111-3

SHEET NUMBER: **M1**

SHEET NAME: 6TH FLOOR HVAC DEMOLITION PLAN
DATE: 02.24.14

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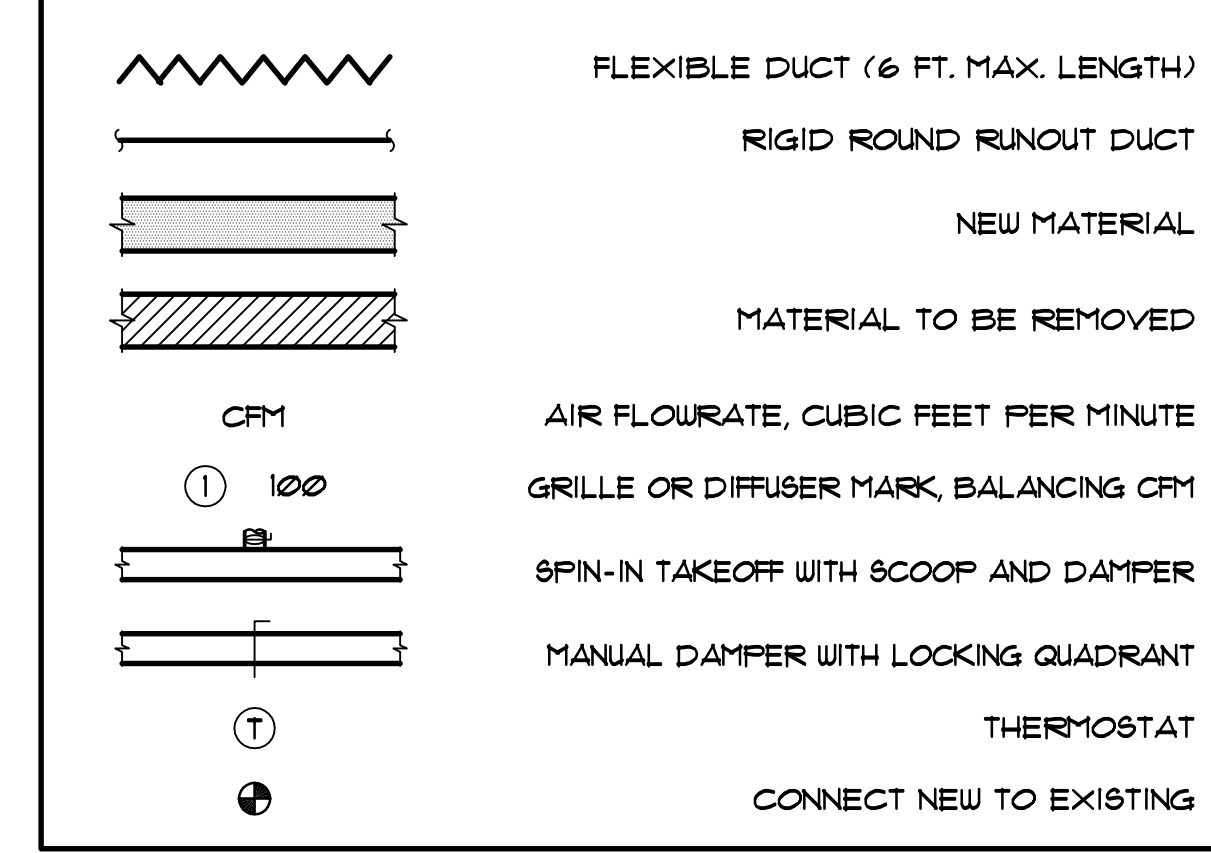
NOTES

1. DO NOT SCALE DRAWINGS. ROUGH FROM ARCHITECTURAL, EXISTING CONDITIONS, AND EQUIPMENT MANUFACTURER'S DRAWINGS.
2. DIMENSIONS ARE IN INCHES UNLESS OTHERWISE NOTED. DUCT SIZES SHOWN ON DRAWINGS ARE INTERIOR DIMENSIONS.
3. WHENEVER THE WORD "PROVIDE" IS USED IT SHALL MEAN FURNISH AND INSTALL COMPLETE AND READY FOR USE.
4. PROVIDE GLASSFAB AND MASTIC ON ALL DUCT INSULATION, SEE SPECIFICATIONS. DUCT TAPE WILL NOT BE ACCEPTED.
5. CONSTRUCT DUCTWORK AS JOB PROGRESSES AND AFTER COORDINATING WITH ALL CONCERNED TRADES AND EXISTING CONDITIONS.
6. SEE SPECIFICATIONS FOR FLEXIBLE DUCT REQUIREMENTS.
7. WHERE DUCTS PASS OVER RECESSED LIGHTING FIXTURES, MAINTAIN 1" CLEARANCE FROM TOP OF FIXTURE TO BOTTOM OF DUCT.
8. INSTALLATION OF EQUIPMENT, DUCTWORK, AND PIPING, INCLUDING VIBRATION ISOLATION SHALL COMPLY WITH 2012 INTERNATIONAL BUILDING CODE FOR SEISMIC PROTECTION. SEE SPECIFICATIONS.
9. WHERE SPIN-IN TAKEOFFS ARE LOCATED ABOVE INACCESSIBLE CEILINGS, OMIT DAMPER.
10. THE MINIMUM DISTANCE BETWEEN TAKEOFFS ON THE SAME SIDE OF THE DUCTS SHALL BE FOUR (4) TIMES THE DIAMETER OF THE FIRST TAKEOFF.

RENOVATION NOTES

- (R) RELOCATE EXISTING THERMOSTAT AS INDICATED ON HVAC RENOVATIONS SHEET M2.
- (Z) RELOCATE EXISTING TROUFER AS INDICATED. REPLACE EXISTING RUNOUT DUCT AS REQUIRED. FIELD VERIFY EXACT DIAMETER OF RUNOUT DUCT.

SYMBOLS



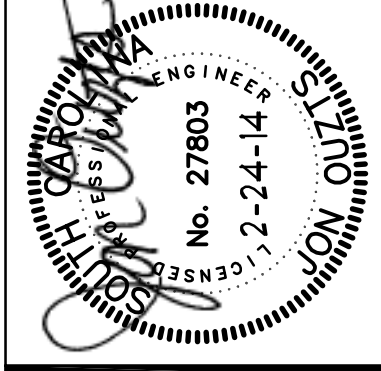
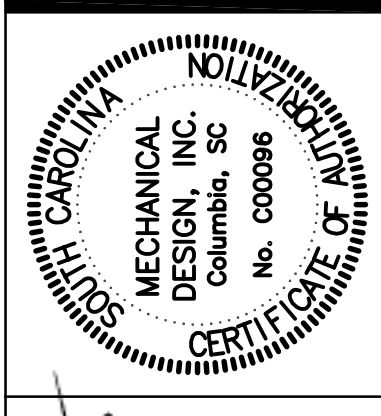
GRILLE AND DIFFUSER SCHEDULE

MARK	SERVICE	NECK SIZE	MAX CFM	RUNOUT SIZE	REMARKS
1	SUPPLY	6"ø	110	6"ø	W/ BUTTERFLY DPR.
2	RETURN	10"x10"	340	10"x8"	
E	EXISTING DIFFUSER, BALANCE TO CFM INDICATED				
GRILLE/DIFFUSER	CEILING TYPE	PRICE # MODEL NO.	MATERIAL		
SQUARE SUPPLY	LAY-IN	SPD-31	STEEL		
SQUARE SUPPLY	GYP. BD.	SPD-31	STEEL		
SQUARE RETURN	LAY-IN	81-TB	ALUMINUM		
SQUARE RETURN	GYP. BD.	81-F-A	ALUMINUM		

- * OR EQUAL BY CARNES, METALAIR, NAILOR, KREUGER OR APPROVED EQUAL.
- NOTES:
1. GRILLE AND DIFFUSER LOCATIONS SHOWN ON FLOOR PLANS ARE APPROXIMATE, SEE ARCHITECTURAL REFLECTED CEILING PLAN FOR EXACT LOCATION.
 2. GRILLES AND DIFFUSERS SHALL MATCH CEILING TYPE, SEE ARCHITECTURAL DRAWINGS FOR CEILING TYPE.
 3. GRILLE AND DIFFUSER COLORS SHALL BE SELECTED BY ARCHITECT, SUBMIT COLOR SAMPLES TO ARCHITECT.
 4. LAY-IN EGGRATE SHALL HAVE FULL FACE (24x24) AND FULL SIZE STEEL BACK PLATE WITH DUCT CONNECTOR COLLAR. INTERIOR OF GRILLE SHALL BE FLAT BLACK.



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UNIVERSITY OF SOUTH CAROLINA
 CONTROLLERS SUITE RENOVATION
 PROJECT NUMBER: CP0007004
 1600 HAMPTON STREET-SIXTH FLOOR, COLUMBIA, SC 29201

CLIENT NAME	PROJECT NAME	PROJECT NUMBER	PROJECT ADDRESS
UNIVERSITY OF SOUTH CAROLINA	CONTROLLERS SUITE RENOVATION	CP0007004	1600 HAMPTON STREET-SIXTH FLOOR, COLUMBIA, SC 29201

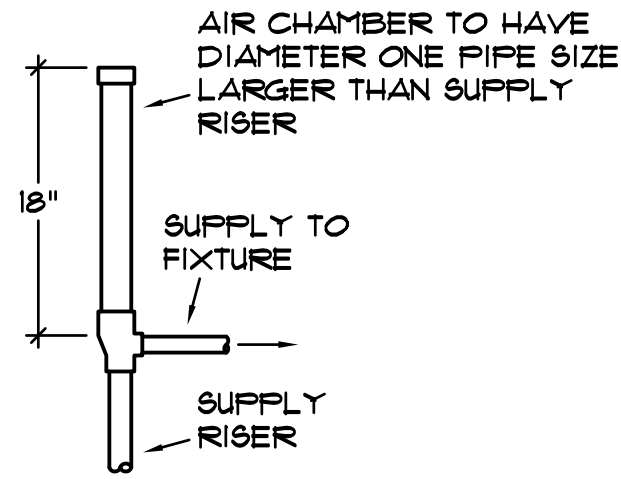
REVISIONS	No.	Description	Date

PROJECT NUMBER: U-13-111-3
 SHEET NUMBER: **M2**
 SHEET NAME: 6TH FLOOR HVAC RENOVATIONS PLAN
 DATE: 02.24.14

6TH FLOOR HVAC RENOVATIONS PLAN
 SCALE: 1/8" = 1'-0"

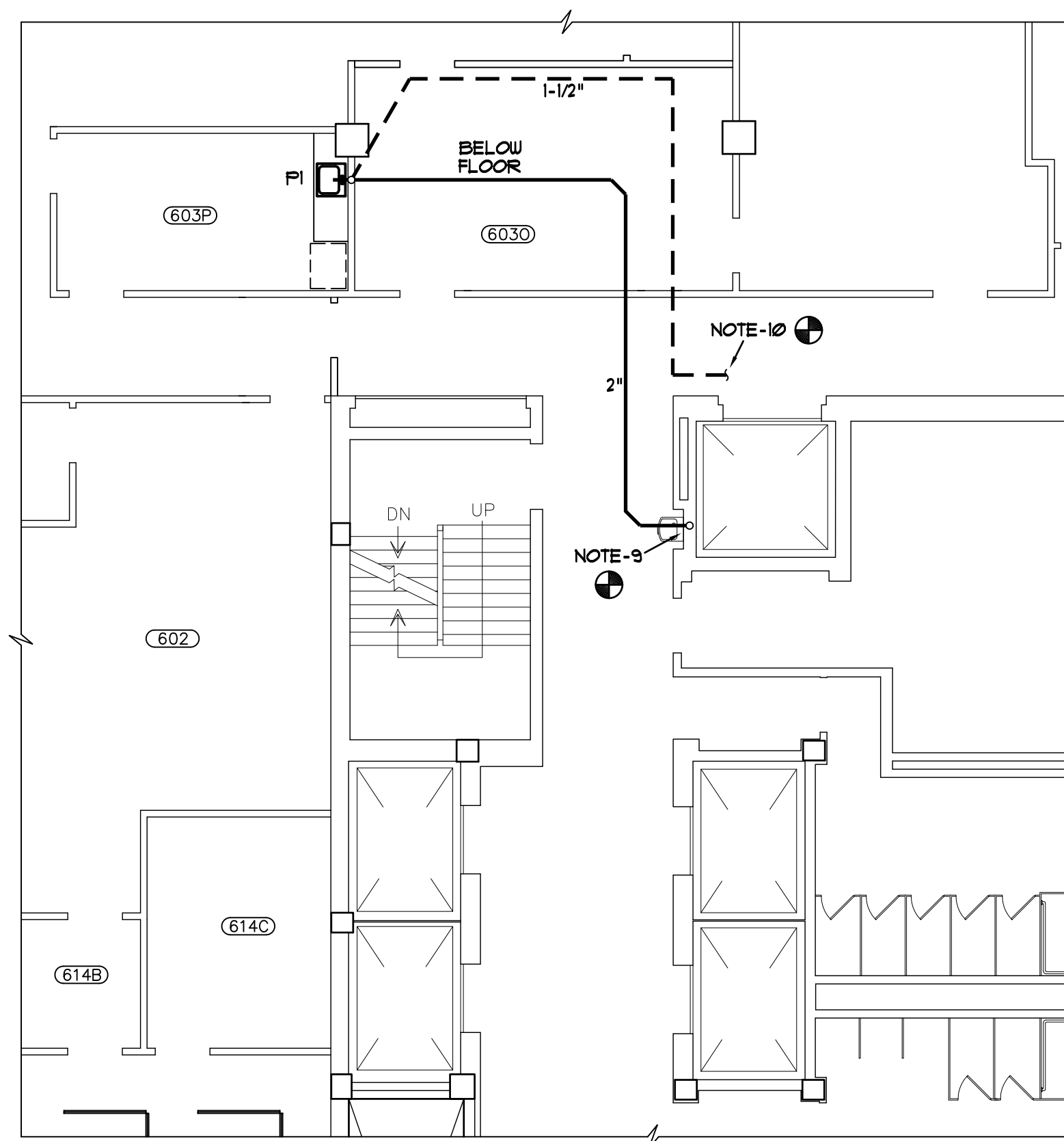
RELEASED FOR BIDDING-FEBRUARY 24, 2014

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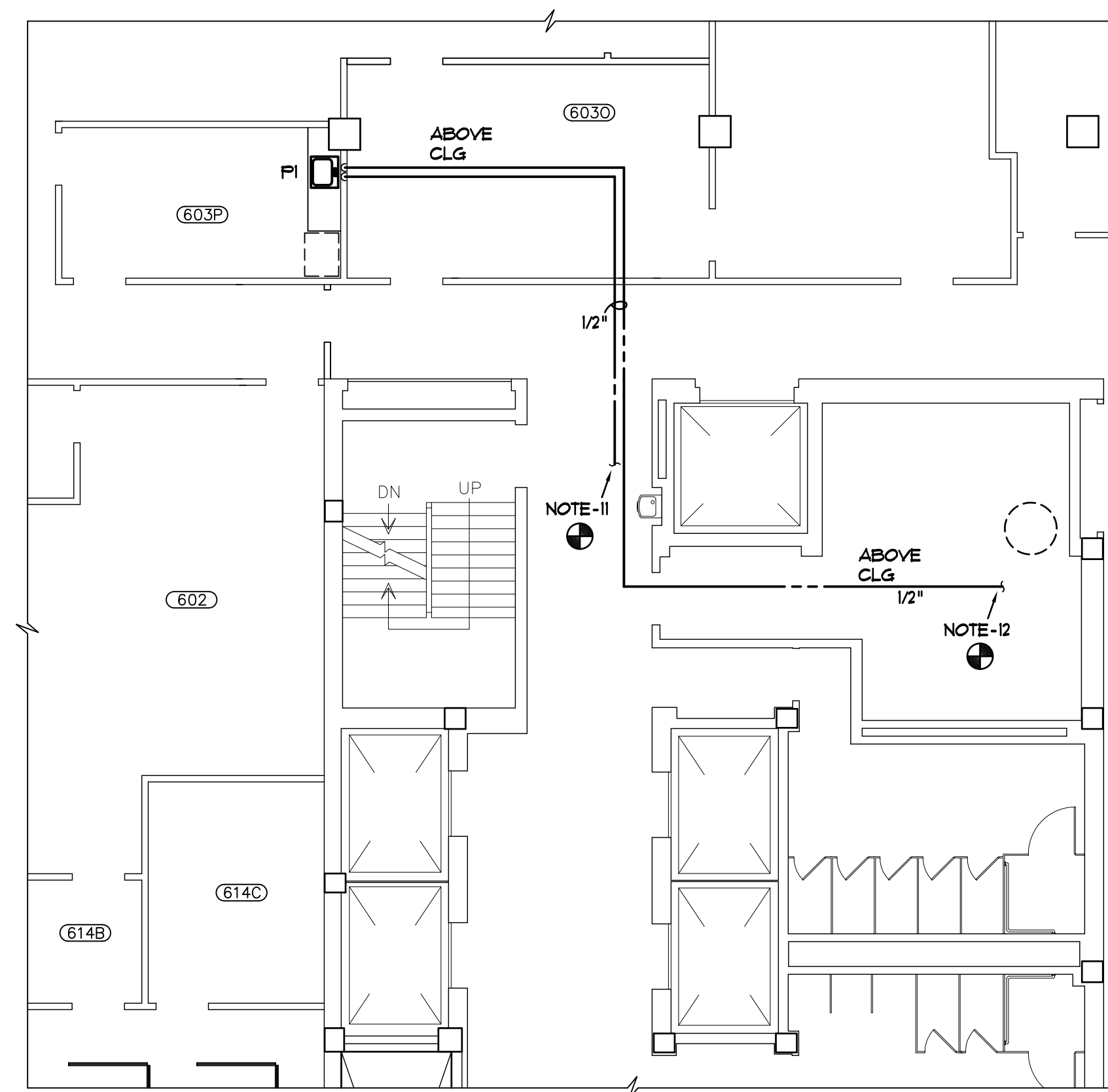


AIR CHAMBER DETAIL
NO SCALE

SPECIAL NOTES:
1. (IPC) PLUMBING CODE PARAGRAPH 604.9 APPLIES TO QUICK-CLOSING VALVES ONLY.
2. THIS PROJECT DOES NOT CONTAIN QUICK-CLOSING VALVES.



WASTE AND VENT PIPING



WATER PIPING

PLUMBING FLOOR PLANS - 6TH FLOOR
SCALE: 1/8" = 1'-0"

SPECIAL NOTE:
CONTRACTOR IS REQ'D TO VISIT PROJECT SITE PRIOR TO SUBMITTING BID AND THOROUGHLY FAMILIARIZE HIMSELF WITH ALL EXIST CONDITIONS RELATING TO THIS PROJECT. SUBMISSION OF A BID WILL BE CONSIDERED AS EVIDENCE THAT THE CONTRACTOR HAS VISITED THE SITE OF WORK.

PLUMBING SPECIFICATIONS

1.1 SCOPE:

- A. Provide all related equipment, labor, materials, excavation and backfill, operations and accessories required for the installation of complete and quietly operating plumbing systems, in accordance with the plans and specifications. This shall include the following:

1. Waste, Drain and Vent Piping
2. Domestic Hot and Cold Water Piping
3. Domestic Water Valves
4. Pipe Hangers and Supports
5. Pipe Insulation
6. Fixtures
7. Sterilization of Domestic Water Piping and Certificates
8. Tests
9. Guarantees

1.2 WASTE, DRAIN AND VENT PIPE:

- A. Waste, drain and vent piping be service weight No-Hub cast iron pipe and fittings in accordance with ASTM A74. Couplings shall be medium duty CISPI as mfr'd by Mission, Ideal or Anaheim (Husky).

1.3 DOMESTIC HOT AND COLD WATER PIPING:

- A. Domestic hot and cold water pipe to be hard drawn copper, Type L with soldered wrought copper fittings. Use lead-free hard solder (95-5) for all joints. Use soldering nipples or couplings between screwed and soldered pipe and fittings.

1.4 DOMESTIC WATER VALVES:

- A. Provide valves where indicated on drawings. Valves shall be sized according to line sizes indicated.
B. Valves shall be Class 125 designed for a minimum of 125 psi steam working pressure. The manufacturer name and the working pressure to be cast on valve body.
C. Valves to be the product of Hammond, Nibco, Milwaukee or Apollo.

1.5 PIPE SUPPORTS:

- A. Perforated strap hangers, chain or wire will not be permitted on the job.
B. Support horizontal piping above ground with hangers, threaded rods and turnbuckles as manufactured by Grinnell, PHD Hangers, or approved equal.

- C. Support copper pipe with copper or copper plated hangers, spaced not over 6 feet apart for 1/2" pipe and 8 feet apart for larger pipes.

1.6 INSULATION:

- A. All insulation material shall have a fire hazard classification not to exceed flame spread of 25 and smoke developed rating of 50, as listed by Underwriters Laboratories and acceptable under NFPA standards. This applies to the complete system and to the composite insulation with jacket or facings, vapor barrier, joint sealing tapes, mastic and fittings.
B. Domestic hot and cold water piping shall be insulated with 1" thick one-piece fiberglass insulation with ASJ embossed vapor barrier laminated jacket.
1. Pipe fittings shall be insulated with same material and thickness as pipe. Install PVC jacket for all pipe insulation fittings. Insulation shall conform to HH-1-558B, Form D, Type III, Class 12; NFPA 90A and MIL-1-223.
C. Insulation shall be cut, mitered and sealed with mastic in a neat and professional manner. Poor insulation installation will not be accepted. provide PVC covers and wrap at exposed insulation.

1.7 FIXTURES:

- A. Provide stop valves for sink. Stop valves shall be furnished complete with 3" c.p. brass nipples and c.p. brass set screw escutcheons.
B. Stainless steel sink shall be as manufactured by Elkay or equal by just will be accepted.
C. Plumbing fixture shall be as specified below:

P1 1-Comp Sink; Elkay LRAD(Q)25224, 25"x22"x6-1/2" deep self-rimming 18 ga SS ADA compliant single compartment sink, (3) hole punch, 4" centers, rear drain outlet, Delta 100-DST single handle mixing faucet w/9" swing gooseneck, RP19754 1.5 GPM aerator. Provide Snap-N-Loc strainer, McGuire H165C heavy supplies and 8912 1-1/2"p-trap.

1.8 STERILIZATION OF HOT AND COLD WATER SYSTEMS:

- A. Sterilize with a solution containing not less than (50) parts per million of available chlorine. Use sodium hypochlorite solution conforming to Federal Specifications OB-441-A, Grade D. Solution to remain in system for (24) hours, opening and closing all valves several times. After sterilization, flush with clean water until chlorine is not greater than 0.2 parts per million.
B. Have samples collected from throughout the systems on (2) consecutive days tested by an approved independent testing lab and deliver certificates of approval to County Sanitarian and Owner. All laboratory fees shall be included in the plumbing contract. Contractor shall be responsible for preventing use of water from systems for human consumption until tested and approved. Should any of the tests prove unfavorable, the entire disinfection and sampling process shall be repeated.
C. After the (24) hour retention period of the disinfection solution, the treated water should contain no less than 25 mg/l chlorine throughout the length of pipe.
D. Certificates indicating negative results of bacteriological test shall be procured prior to building acceptance.

1.9 TESTS:

- A. Pressure and leak test all water piping at minimum 150 PSI for 4 hours and in accordance with local requirements.
B. Test waste and venting pipe systems by plugging all necessary openings and filling systems with minimum 10'-0" water column or to the top of the highest vent stack.

1.10 GUARANTEE:

- A. Contractor shall guarantee all equipment, piping and any other materials specified under this Division of the contract for a period of one (1) year from the date of project acceptance unless otherwise indicated. Upon failure of any part(s) of the system during the guarantee period, the affected part(s) shall be repaired or replaced promptly by and at the expense of the Contractor.
B. If any component fails during the regular one year period, then the replacement part(s) shall be given an additional one (1) year guarantee from the time of replacement. This shall continue until the items have given one (1) year satisfactory service.

END OF SPECIFICATIONS

PLUMBING FIXTURE SCHEDULE

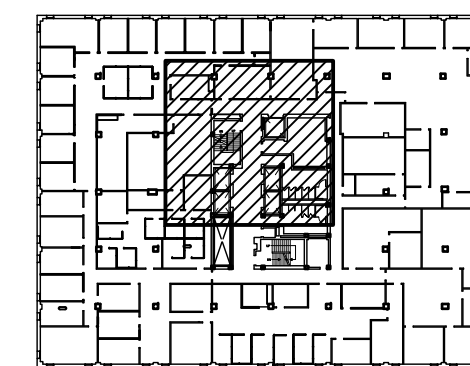
SYMBOL	DESCRIPTION	CW	HW	WASTE	VENT	MOUNTING HEIGHT
P1	1-COMP SINK	1/2"	1/2"	2"	1-1/2"	SEE ARCH

- PLUMBING NOTES**
1. DO NOT SCALE DRAWINGS. ROUGH FROM ARCHITECTURAL AND EQUIPMENT MANUFACTURER'S DRAWINGS.
 2. COORDINATE PLUMBING SYSTEMS WITH ALL TRADES TO AVOID INTERFERENCE AND CONFLICTS PRIOR TO INSTALLATION OF PIPING, FIXTURES, AND EQUIPMENT.
 3. ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE (IBC) BUILDING AND (IPC) PLUMBING CODES 2006 EDITIONS OF THE (ICC) INTERNATIONAL CODE COUNCIL AND ALL LOCAL CODES AND ORDINANCES.
 4. WHENEVER THE WORD "PROVIDE" IS USED, IT SHALL MEAN FURNISH AND INSTALL COMPLETE AND READY FOR USE.
 5. UNLESS OTHERWISE SHOWN OR NOTED, ALL PIPING SHALL BE RUN CONCEALED IN WALLS, CHASES AND/OR ABOVE CEILING.
 6. PROVIDE AIR CHAMBERS ON HOT AND COLD WATER SUPPLY TO EACH FIXTURE. SIZE ONE PIPE SIZE LARGER THAN SUPPLY. (SEE DETAIL, THIS SH1)
 7. LOCATE GATE VALVES ABOVE CEILING TO PERMIT EASY ACCESS. (SEE NOTE-2)
 8. INSTALLATION OF EQUIPMENT AND PIPING SHALL COMPLY WITH THE (IBC) BUILDING CODE 2006 EDITION FOR SEISMIC PROTECTION.
 9. PROVIDE CONNECTION TO EXIST 2" WASTE RISER AT EXISTING ELECTRIC WATER COOLER AS REQUIRED.
 10. EXTEND 1-1/2" VENT ABOVE CLG AND PROVIDE CONNECTION TO EXIST 2" VENT RISER AT EXISTING ELECTRIC WATER COOLER AS REQUIRED.
 11. EXTEND 1/2" CW ABOVE CLG AND PROVIDE CONNECTION TO EXIST 1/2" CW AT ELECTRIC WATER COOLER AS REQUIRED.
 12. EXTEND 1/2" HW ABOVE CLG AND PROVIDE CONNECTION TO EXIST 1" HW AT HEATER AS REQUIRED.

PLUMBING SYMBOLS

SYMBOL	DESCRIPTION
	SANITARY WASTE PIPING
	SANITARY VENT PIPING
	COLD WATER PIPING
	HOT WATER PIPING (120°F)
	GATE VALVE
CW, HW	COLD WATER, HOT WATER
EWC	ELECTRIC WATER COOLER

- TYPICAL PLUMBING DEMOLITION NOTES**
- D1. CONTRACTOR SHALL FIELD COORDINATE AND VERIFY EXIST CONDITIONS PRIOR TO START OF DEMOLITION WORK. NOTIFY ENGINEER IMMEDIATELY IF QUESTIONS OR CONFLICTS ARE DISCOVERED AT START OF PROJECT.
 - D2. PROVIDE SAWCUTTING, CUTTING, CORE DRILLING AND REMOVAL OF EXIST FLOOR SLABS AND/OR EXIST WALLS AS REQUIRED FOR THE INSTALLATION OF PLUMBING SYSTEMS. CONTRACTOR SHALL COORDINATE ALL DEMOLITION OF EXIST SURFACES WITH THE GENERAL CONTRACTOR TO MAINTAIN MINIMAL AMOUNT OF CUTTING AS REQUIRED. PATCHING OF EXIST FINISHED SURFACES SHALL BE BY THE GENERAL CONTRACTOR.
 - D3. REMOVAL, STORAGE AND REINSTALLATION OF EXISTING CEILING TILES SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. THE PLUMBING CONTRACTOR SHALL WORK WITHIN THE EXISTING CEILING GRID WHERE APPLICABLE.

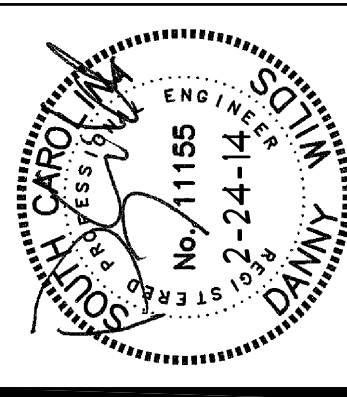


KEYPLAN
NO SCALE



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CONTACT: M. HENDRIX
DATE: 02/24/14
COMM. NO. 133034

UNIVERSITY OF SOUTH CAROLINA
CLIENT NAME
CONTROLLERS SUITE RENOVATION
PROJECT NUMBER
CPO0277004
PROJECT ADDRESS
1600 HAMPTON STREET-SIXTH FLOOR, COLUMBIA, SC 29201

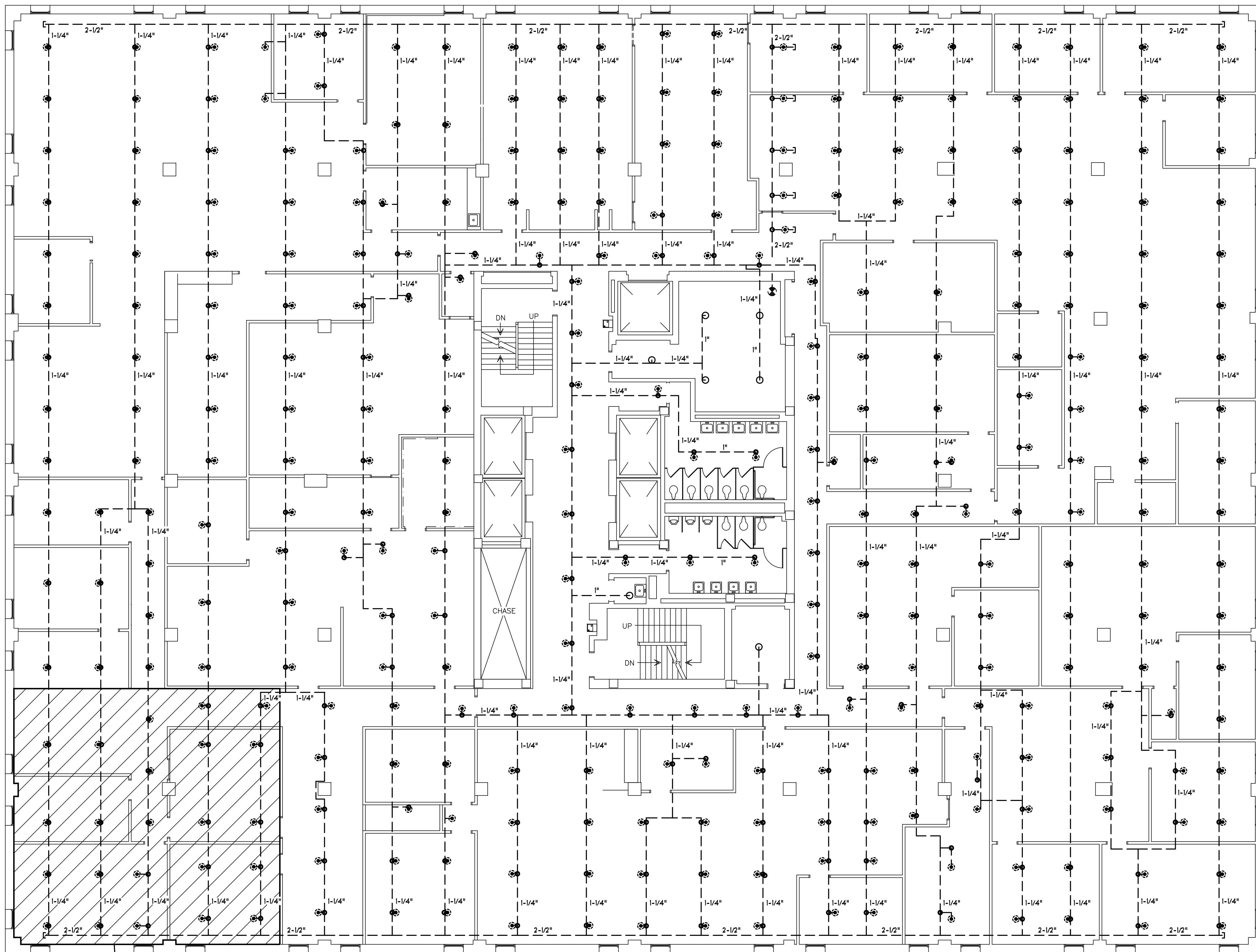
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REVISIONS

No.	Description	Date

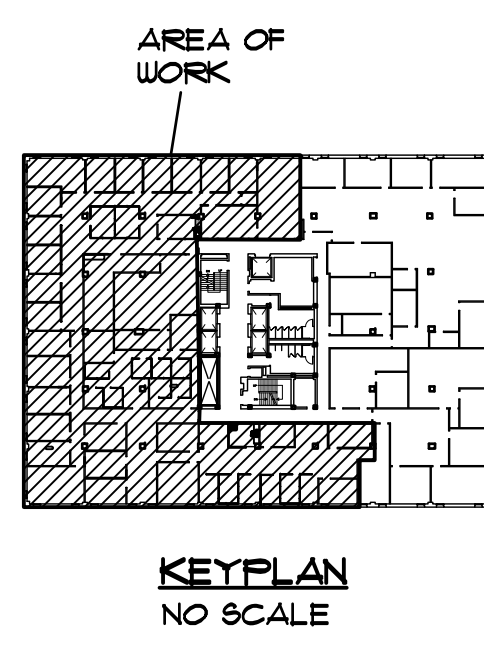
PROJECT NUMBER U-13-111-3
SHEET NUMBER **P1**
SHEET NAME PLUMBING FLOOR PLANS - 6TH FLOOR
DATE 02.24.14

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EXISTING SPRINKLER SYSTEM

- LOCATIONS OF SPRINKLER HEADS, PIPING AND PIPE SIZES ARE BASED ON SPRK SHT 9 of 10 FURNISHED BY CRAWFORD SPRINKLER CO., REVISION DATE 10-20-03.
- CONTRACTOR SHALL FIELD VERIFY EXACT LOCATIONS OF ALL EXISTING PIPING AND HEADS INCLUDING LINE SIZES AND SPRK HEAD TYPES TO ESTABLISH EXIST CONDITIONS PRIOR TO SUBMITTING A BID FOR THIS PROJECT.
- EXISTING SEISMIC BRACING FOR MAINS AND BRANCH LINES SHALL REMAIN. CONTRACTOR SHALL PROVIDE SEISMIC BRACING FOR ALL MODIFICATIONS AS REQUIRED IN ACCORDANCE WITH NFPA-13.
- RECORD DRGS FOR THIS PROJECT SHALL INCLUDE LOCATIONS OF ALL EXISTING PIPING TO REMAIN.
- EXISTING SPRINKLER PIPING INCLUDING SPRINKLER HEAD DROPS IS METALLIC PIPING.



REMOTE AREA
 Design Area - 6th floor
 Density: 0.15 Area: 1500
 Flow: 620.86 Gpm @ 45.498 psi
 Includes 250 Gpm Hose Allowance

WET PIPE SPRINKLER SYSTEM - 6TH FLOOR - EXISTING CONDITIONS
 SCALE: 1/8" = 1'-0"

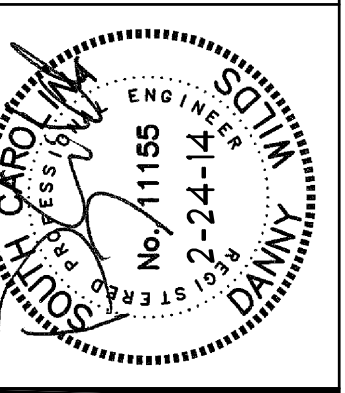
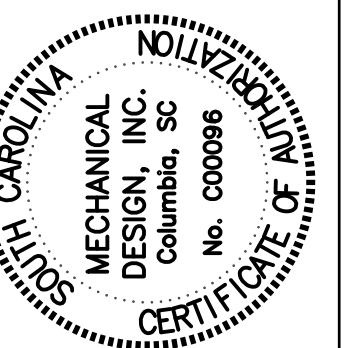
EXIST SPRINKLER HATCH KEY				
SYMBOL	DEGREE	SIZE	S.I.N. #	DESCRIPTION
⊙	155	1/2"	VK302	VIKING MFQR SEMI-RECESSED CHROME PENDENT
○	200	1/2"	VK300	VIKING MFQR UPRIGHT

SPECIAL NOTE:
 CONTRACTOR IS REQ'D TO VISIT PROJECT SITE PRIOR TO SUBMITTING BID AND THOROUGHLY FAMILIARIZE HIMSELF WITH ALL EXIST CONDITIONS RELATING TO THIS PROJECT. SUBMISSION OF A BID WILL BE CONSIDERED AS EVIDENCE THAT THE CONTRACTOR HAS VISITED THE SITE OF WORK.



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CONTACT: M. HENDRIX
 DATE: 02/24/14
 COMM. NO. 133034

CLIENT NAME	UNIVERSITY OF SOUTH CAROLINA
PROJECT NAME	CONTROLLERS SUITE RENOVATION
PROJECT NUMBER	CP00377004
PROJECT ADDRESS	1600 HAMPTON STREET-SIXTH FLOOR, COLUMBIA, SC 29201

REVISIONS		
No.	Description	Date

PROJECT NUMBER: U-13-111-3

SHEET NAME: FP1

WET PIPE SPRK SYSTEM - 6TH FLR - EXIST CONDITIONS

DATE: 02.24.14

RELEASED FOR BIDDING-FEBRUARY 24, 2014



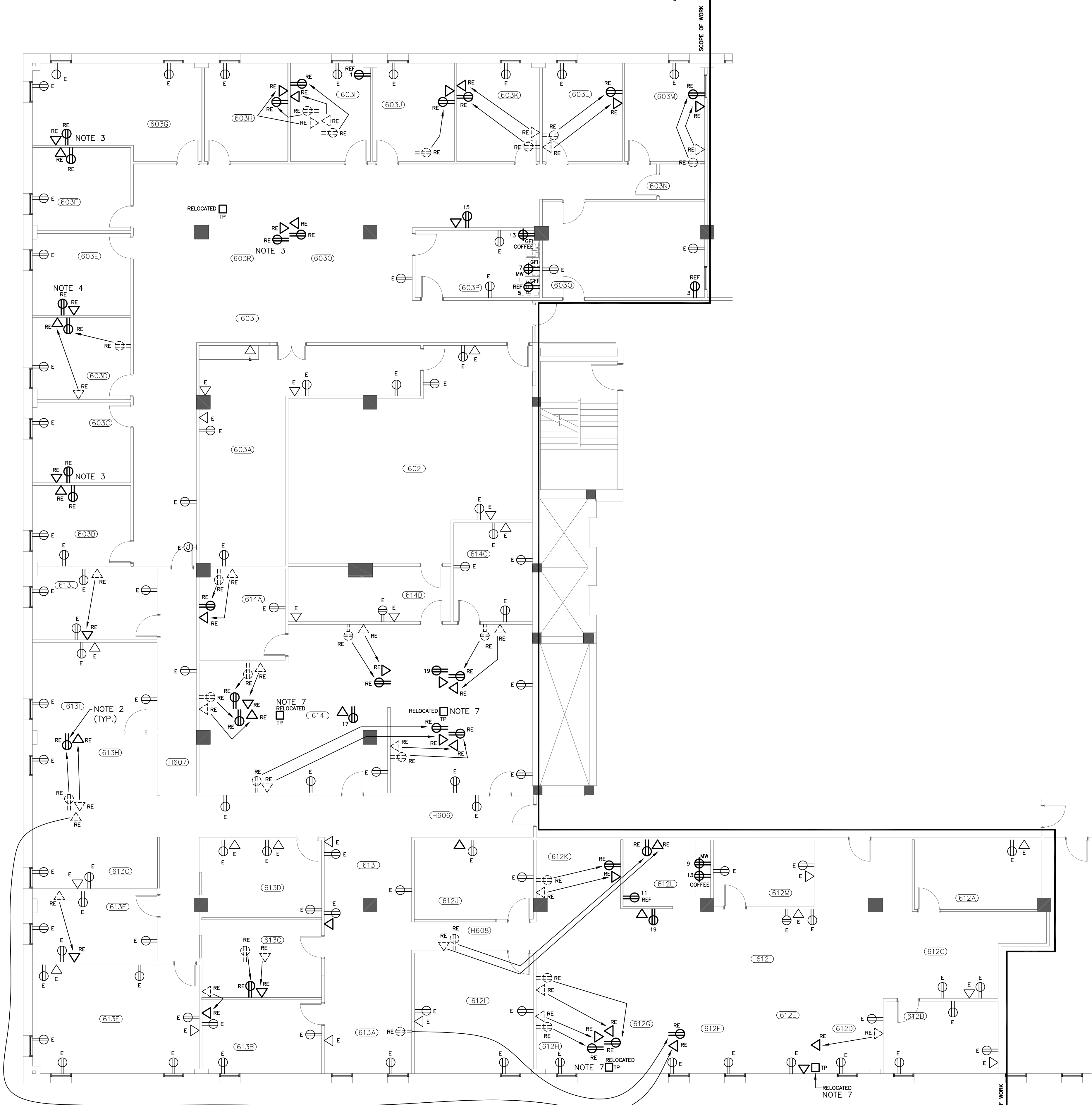
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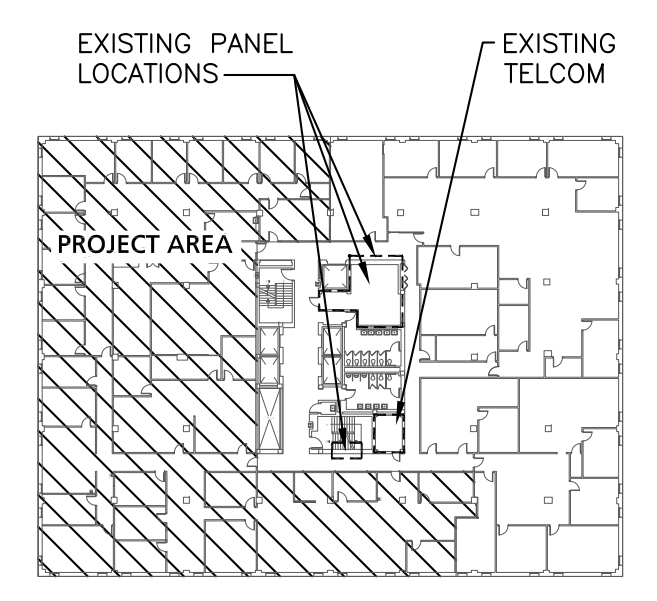


- NOTES
1. ALL RECEPTACLES ON THIS SHEET SHALL BE FED FROM EXISTING ELECTRICAL PANELS. CIRCUIT NUMBERS SHOWN ARE FOR DIAGRAMMATIC PURPOSES ONLY AND DO NOT CORRESPOND TO ACTUAL CIRCUIT BREAKER POSITION NUMBERS.
 2. MANY NEW DUPLEX RECEPTACLES SHALL BE FED USING CIRCUITS THAT PREVIOUSLY FED RECEPTACLES REMOVED IN RENOVATION PHASE.
 3. THIS CLUSTER OF 2-DUPLEX RECEPTACLES AND 2-VOICE/DATA STATIONS SHALL BE FED FROM EXISTING WIRING PREVIOUSLY ROUTED TO PARTITION FURNITURE VIA TELEPOWER POLE. LOCATE NEW TELCOM STATIONS SO THAT EXISTING CABLING WILL CONNECT.
 4. THIS CLUSTER OF 1-DUPLEX RECEPTACLE AND 1-VOICE/DATA STATION SHALL BE FED FROM EXISTING WIRING PREVIOUSLY ROUTED TO PARTITION FURNITURE VIA TELEPOWER POLE. LOCATE NEW TELCOM STATIONS SO THAT EXISTING CABLING WILL CONNECT.
 5. IF EXISTING VOICE/DATA CABLING IS LONG ENOUGH TO REACH NEW LOCATIONS THEN CABLING MAY BE RE-USED. IF NOT, PROVIDE NEW CABLING - COORDINATE WITH NOLAN WESTBURY, USC UTS.
 6. NEW PARTITIONS SHALL BE FED FROM RELOCATED TELEPOWER POLES, WALL DROPS, OR EXISTING DEVICE BOXES.
 7. TELEPOWER POLES SHALL BE FED BY LOCAL EXISTING CIRCUITS.

- DEMOLITION/RENOVATION NOTATION
- E EXISTING DEVICE TO REMAIN. FUNCTION SHALL REMAIN AT THIS LOCATION. PROVIDE NEW DEVICES AND WALL PLATES.
 - R EXISTING DEVICE TO BE REMOVED BY ELECTRICAL CONTRACTOR. DISPOSE OF REMOVED COMPONENTS. MAINTAIN CONTINUITY OF REMAINING PORTIONS OF BRANCH CIRCUIT.
 - RE EXISTING DEVICE TO BE REMOVED BY ELECTRICAL CONTRACTOR. EXISTING CIRCUIT SHALL BE RETAINED. PROVIDE NEW DEVICE AS SHOWN ON RENOVATION PLANS.



1 PARTIAL SIXTH FLOOR POWER RENOVATION PLAN
SCALE: 1/8" = 1'-0"



KEY PLAN
SCALE: NONE

UNIVERSITY OF SOUTH CAROLINA
CONTROLLERS SUITE RENOVATION
PROJECT NUMBER: CP00377004
PROJECT ADDRESS: 1600 HAMPTON STREET-SIXTH FLOOR, COLUMBIA, SC 29201

CLIENT NAME	UNIVERSITY OF SOUTH CAROLINA
PROJECT NAME	CONTROLLERS SUITE RENOVATION
PROJECT NUMBER	CP00377004
PROJECT ADDRESS	1600 HAMPTON STREET-SIXTH FLOOR, COLUMBIA, SC 29201

REVISIONS		
No.	Description	Date

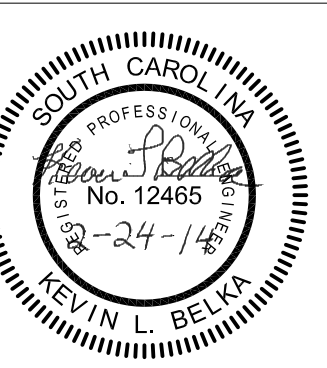
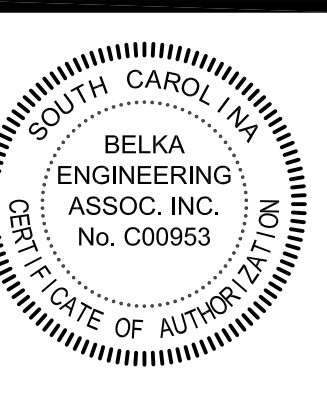
PROJECT NUMBER	U-13-111-3
SHEET NUMBER	E102
SHEET NAME	PARTIAL SIXTH FLOOR POWER RENOVATION PLAN
DATE	02.24.14

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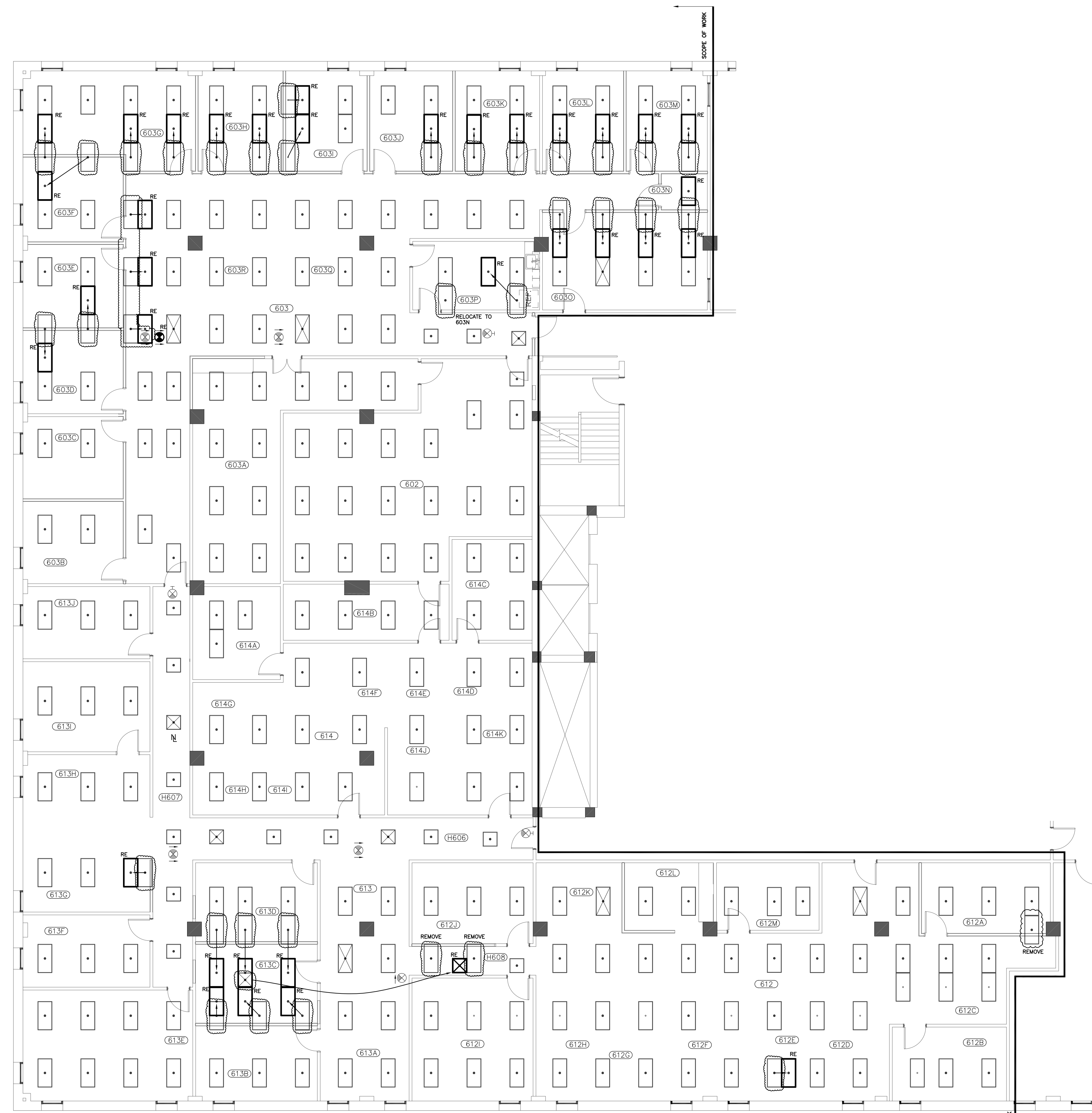


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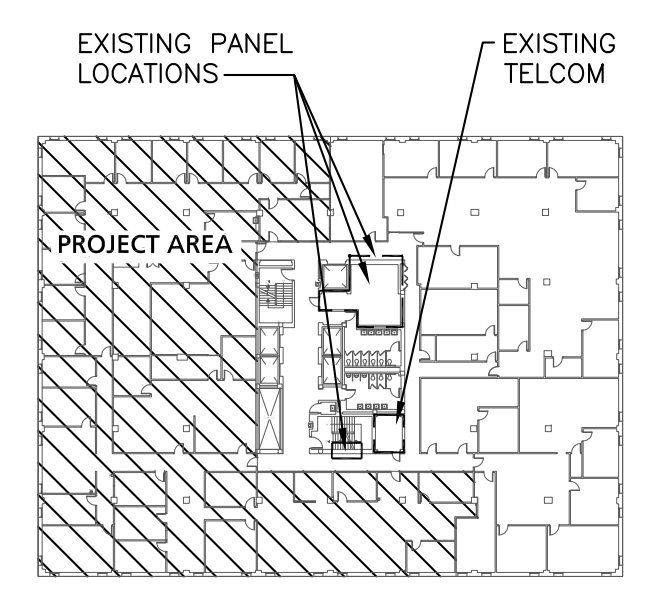
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- NOTES
1. FIXTURES SHOWN CLOUDED ARE EXISTING FIXTURES TO BE RELOCATED. FIXTURES IN BOLD AND DESIGNATED WITH "RE" ARE THE RELOCATED FIXTURES IN THEIR NEW POSITION. FIXTURES CLOUDED AND MARKED "REMOVE" ARE TO BE REMOVED AND TURNED OVER TO OWNER.
 2. FIXTURES NOT MARKED SHALL BE EXISTING TO REMAIN.
 3. CLEAN AND RELAMP ALL FIXTURES.
 4. PROVIDE AN ALLOWANCE IN BID TO CHANGE THE CONNECTION OF A TOTAL OF FIVE EXISTING LIGHTING FIXTURES TO BE NIGHTLIGHTS ON GENERATOR BACKED EXISTING CIRCUIT IN LIEU OF AS SHOWN IF SO REQUIRED BY STATE ENGINEER AT SUBSTANTIAL COMPLETION.
 5. EXISTING FIRE ALARM SYSTEM FUNCTIONALITY SHALL BE MAINTAINED. WHERE CEILING/STRUCTURE RENOVATIONS ARE DONE WHERE FIRE ALARM SYSTEM COMPONENTS ARE SUPPORTED THOSE COMPONENTS SHALL BE TEMPORARILY SUPPORTED AND SUBSEQUENTLY INSTALLED/MOUNTED ON RENOVATION CEILING/STRUCTURE.



1 PARTIAL SIXTH FLOOR LIGHTING RENOVATION PLAN
E103 SCALE: 1/8" = 1'-0"



KEY PLAN
SCALE: NONE

UNIVERSITY OF SOUTH CAROLINA
CONTROLLERS SUITE RENOVATION
CP00377004

1600 HAMPTON STREET-SIXTH FLOOR, COLUMBIA, SC 29201

CLIENT NAME	UNIVERSITY OF SOUTH CAROLINA
PROJECT NAME	CONTROLLERS SUITE RENOVATION
PROJECT NUMBER	CP00377004
PROJECT ADDRESS	1600 HAMPTON STREET-SIXTH FLOOR, COLUMBIA, SC 29201

REVISIONS		
No.	Description	Date

PROJECT NUMBER: U-13-111-3
SHEET NUMBER: E103

SHEET NAME: PARTIAL SIXTH FLOOR LIGHTING RENOVATION PLAN
DATE: 02.24.14

RELEASED FOR BIDDING-FEBRUARY 24, 2014